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C1	Existing Civil Plan	11/17/2022
L1	Landscape Plan	03/24/2023
L2	Streetscape	03/24/2023
L3	Roof Deck Plant Materials	03/24/2023
L4	Roof Deck Materials	03/24/2023
L5	Green Score Calculation	03/24/2023
L6	Green Score - Site Details	03/24/2023
L7	Green Score - Site Details	03/24/2023
L8	Green score - Site Details	03/24/2023
L9	Tree Protection Plan	03/24/2023
L0	Landscape Plan	03/24/2023
LR0	Roof Deck Plan	03/24/2023
C-101	Illustrative Site Plan	09/2022
C-102	Transportation Elements Plan	09/2022
C-103	Pedestrian Access Plan	09/2022
C-104	Bicycle Parking Plan	09/2022
C-105	Motor Vehicle Movement Plan	09/2022
A-010	Diagrammatic Section & Bldg Metrics	07/26/2023
A-020	Site Plan	07/26/2023
A-023	Gross Floor Area	07/26/2023

A-024	Leasable Floor Area	07/26/2023
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A-101	1st Floor Plan	07/26/2023
A-102	2nd - 4th Floor Plans	07/26/2023
A-103	Roof Plan	07/26/2023
A-301	Primary Front Elevation - Broadway	07/26/2023
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AV-1	Perspective at Broadway & Thurston	07/26/2023
AV-2	Perspective at Broadway	07/26/2023
AV-3	Thurston Street Perspective	07/26/2023
AV-4	Proposed Rendering	07/26/2023
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AV-6	Proposed Aerial	07/26/2023
AV-7	Proposed Aerial	07/26/2023
AV-8	Shadow Study - Vernal Equinox	07/26/2023
AV-9	Shadow Study - Summer Solstice	07/26/2023
AV-10	Shadow Studies -Summer Solstice /Autumnal Equinox	07/26/2023
AV-11	Shadow Studies -Winter Solstice /Autumnal Equinox	07/26/2023
AV-12	Winter Solstice Shadow Study	07/26/2023



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

CONSULTANTS:

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REGISTRATION



NOT FOR CONSTRUCTION

Project number	21071
Date	07/26/2023
Drawn by	ERS
Checked by	JSK
Scale	1" = 60'-0"

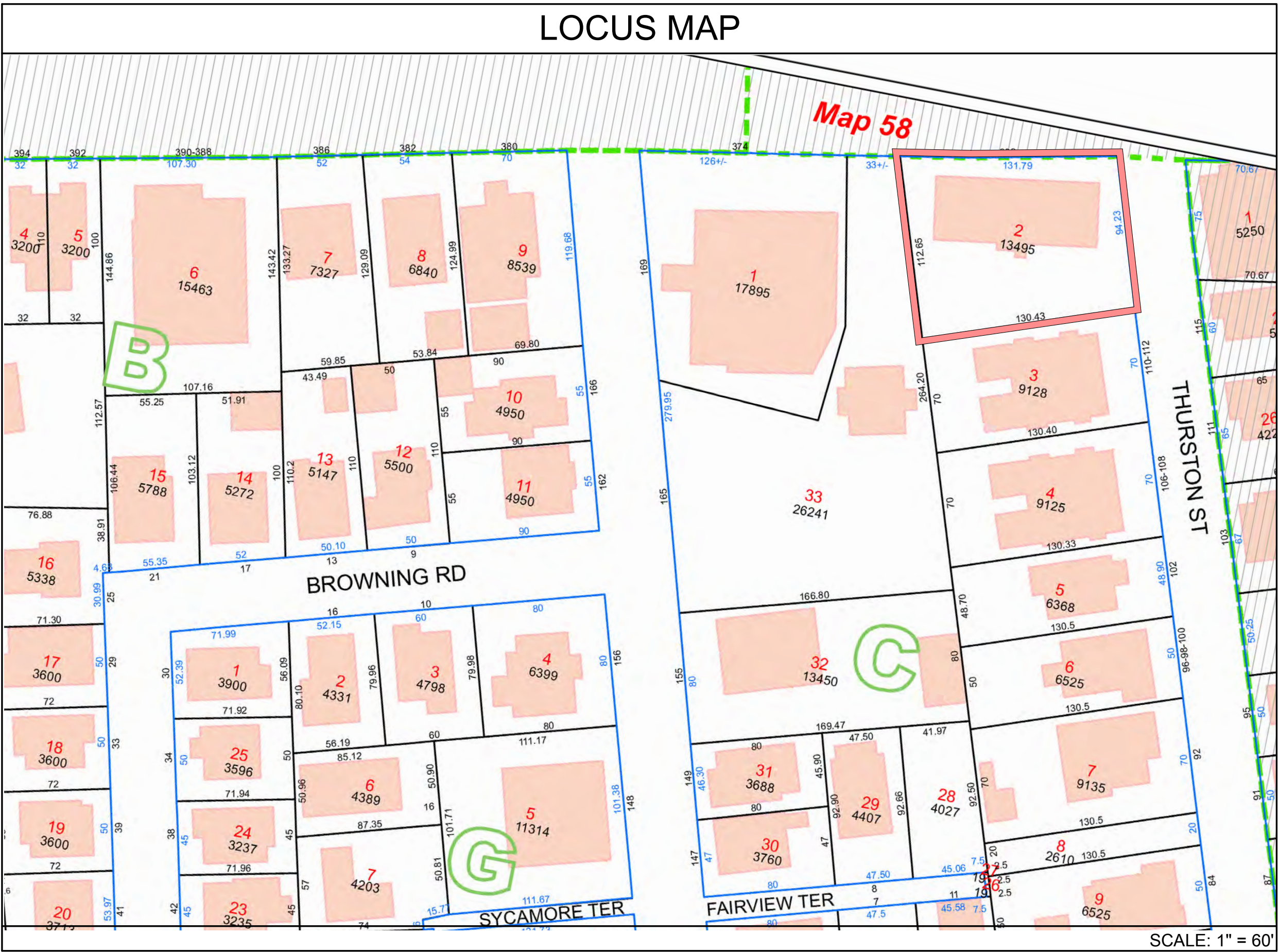
REVISIONS

No.	Description	Date

Cover Sheet

A-000

366 Broadway Residences



PROJECT: 366 BROADWAY RESIDENCES

PROJECT ADDRESS:
366 BROADWAY SOMERVILLE, MASSACHUSETTS

ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

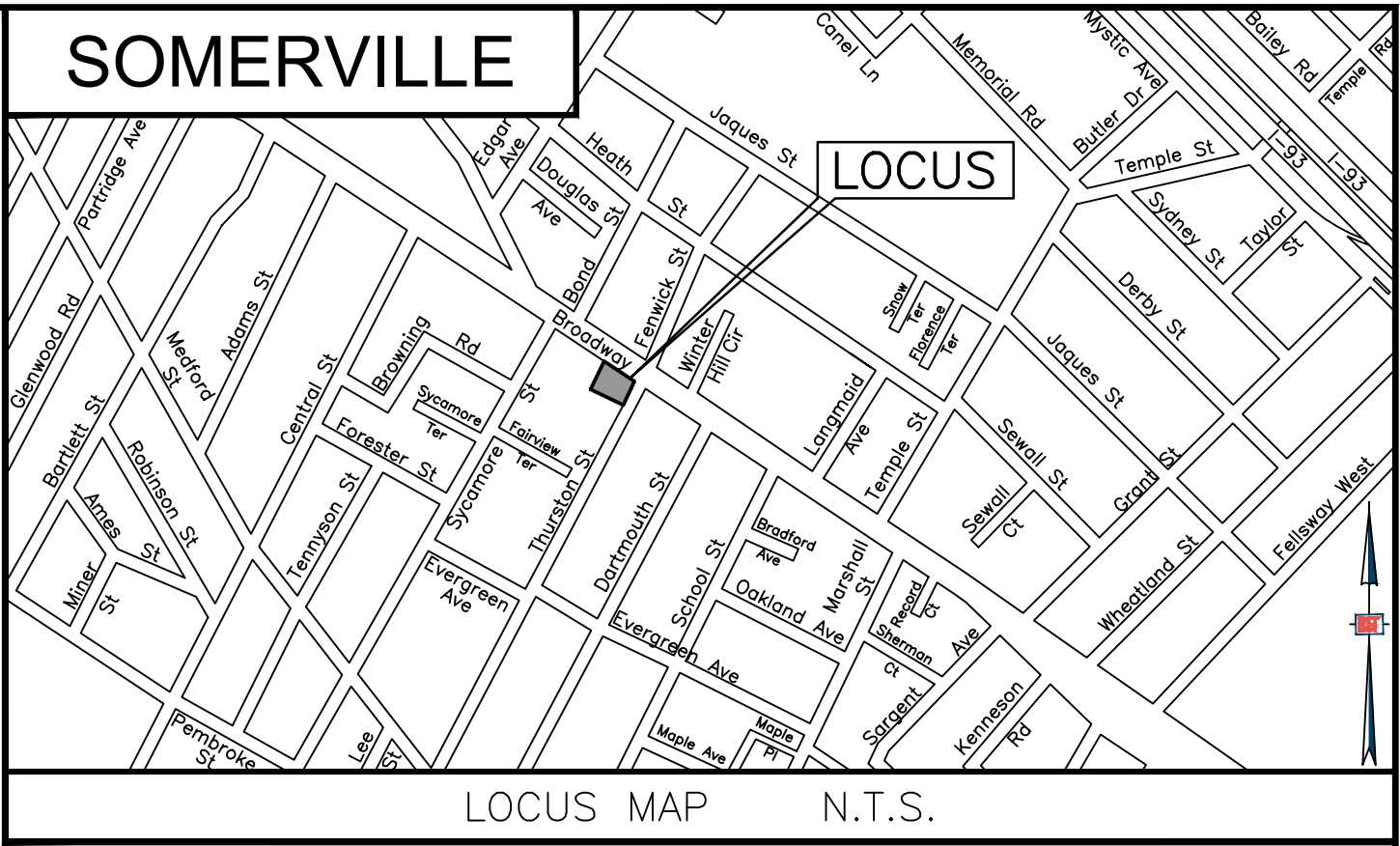
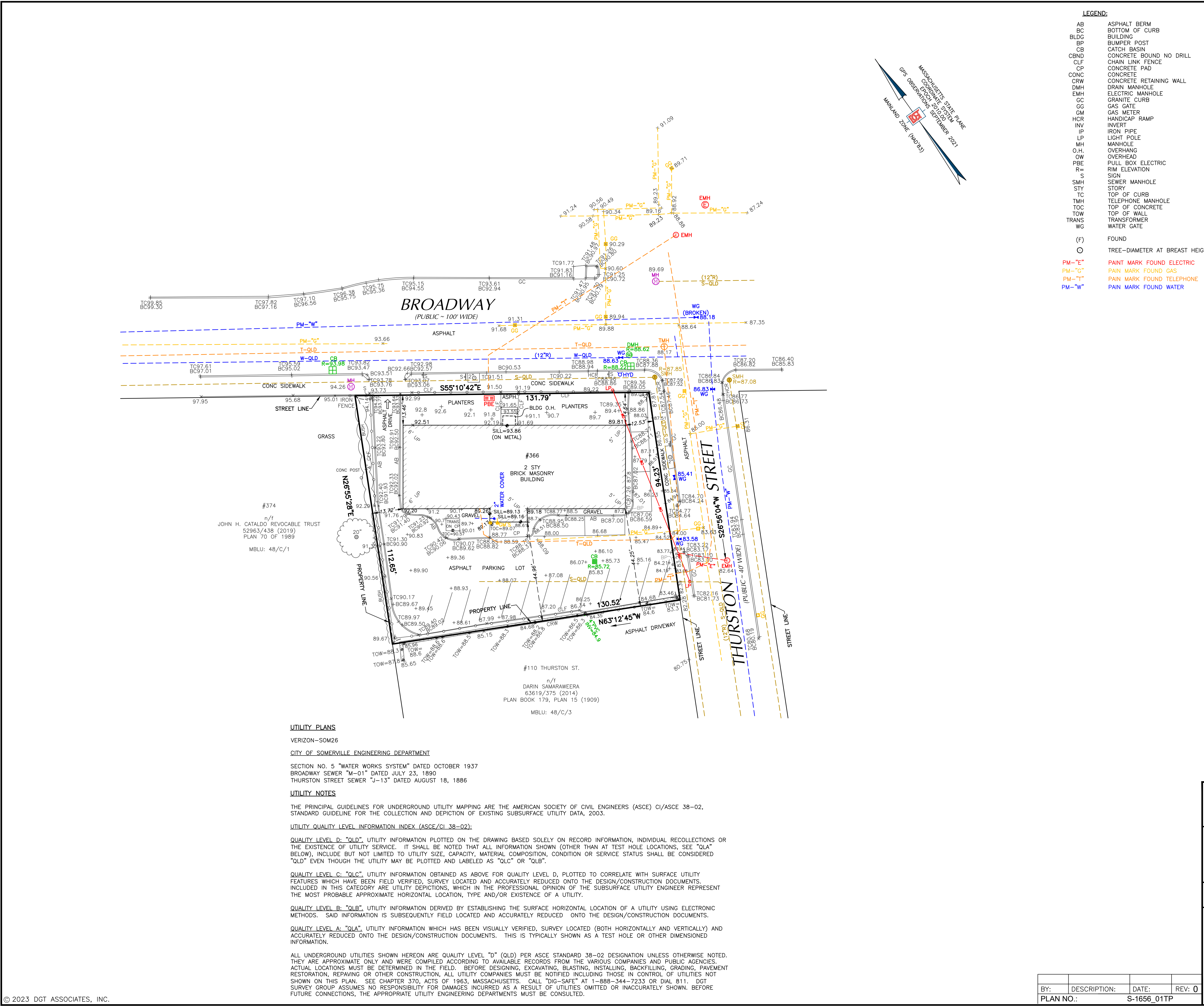
LANDSCAPE ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
318 HARVARD STREET, SUITE 25
BROOKLINE, MA 02446

CLIENT
366 BROADWAY LLC
c/o EDWARD DOHERTY
200 BROADWAY, SUITE 103
LYNNFIELD, MA 01940

CIVIL
DGT ASSOCIATES
ADDRESS
803 SUMMER STREET, 1ST FLOOR
BOSTON, MA 02127

MOBILITY & TRAFFIC
GM2
ADDRESS
10 CABOT ROAD, SUITE 101B
MEDFORD, MA 02155

07/26/2023



REFERENCE

OWNER OF RECORD: n/f 366 BROADWAY LLC
72441/78 (2019)
PLAN BOOK 179, PLAN 15 (1909)

AREA = 13,502 SQ. FT.
ASSESSOR MBLU: 48/C/2

PLAN REFERENCES

CITY NOTE BOOK 2, PAGES 6-8
" " " 31, " 188-195
" " " 40, " 78-79

MIDDLESEX COUNTY REGISTRY OF DEEDS

PLAN 549 OF 2005
" 70 OF 1989

NOTES

1) FIELD SURVEY PERFORMED: SEPTEMBER 17, 24, 2021 AND NOVEMBER 17, 2022.

2) ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AS ESTABLISHED BY GPS OBSERVATIONS.

I HEREBY CERTIFY THAT:
THIS PLAN IS BASED ON AN ON-THE-GROUND SURVEY AND PRESENTS THE FACTS AS FOUND AT THE TIME OF THE SURVEY.

MICHAEL A. CLIFFORD
No. 35394
REGISTERED PROFESSIONAL LAND SURVEYOR

16-JAN-2023
DATE

SCALE: 1" = 20'
0 10 20 40

UTILITY PLANS

VERIZON-SOM26

CITY OF SOMERVILLE ENGINEERING DEPARTMENT

SECTION NO. 5 "WATER WORKS SYSTEM" DATED OCTOBER 1937
BROADWAY SEWER "M-01" DATED JULY 23, 1890
THURSTON STREET SEWER "J-13" DATED AUGUST 18, 1886

UTILITY NOTES

THE PRINCIPAL GUIDELINES FOR UNDERGROUND UTILITY MAPPING ARE THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) CI/ASCE 38-02, STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, 2003.

UTILITY QUALITY LEVEL INFORMATION INDEX (ASCE/CI 38-02):

QUALITY LEVEL D: "QLD", UTILITY INFORMATION PLOTTED ON THE DRAWING BASED SOLELY ON RECORD INFORMATION, INDIVIDUAL RECOLLECTIONS OR THE EXISTENCE OF UTILITY SERVICE. IT SHALL BE NOTED THAT ALL INFORMATION SHOWN (OTHER THAN AT TEST HOLE LOCATIONS, SEE "QLA" BELOW), INCLUDE BUT NOT LIMITED TO UTILITY SIZE, CAPACITY, MATERIAL COMPOSITION, CONDITION OR SERVICE STATUS SHALL BE CONSIDERED "QLD" EVEN THOUGH THE UTILITY MAY BE PLOTTED AND LABELED AS "QLC" OR "QLB".

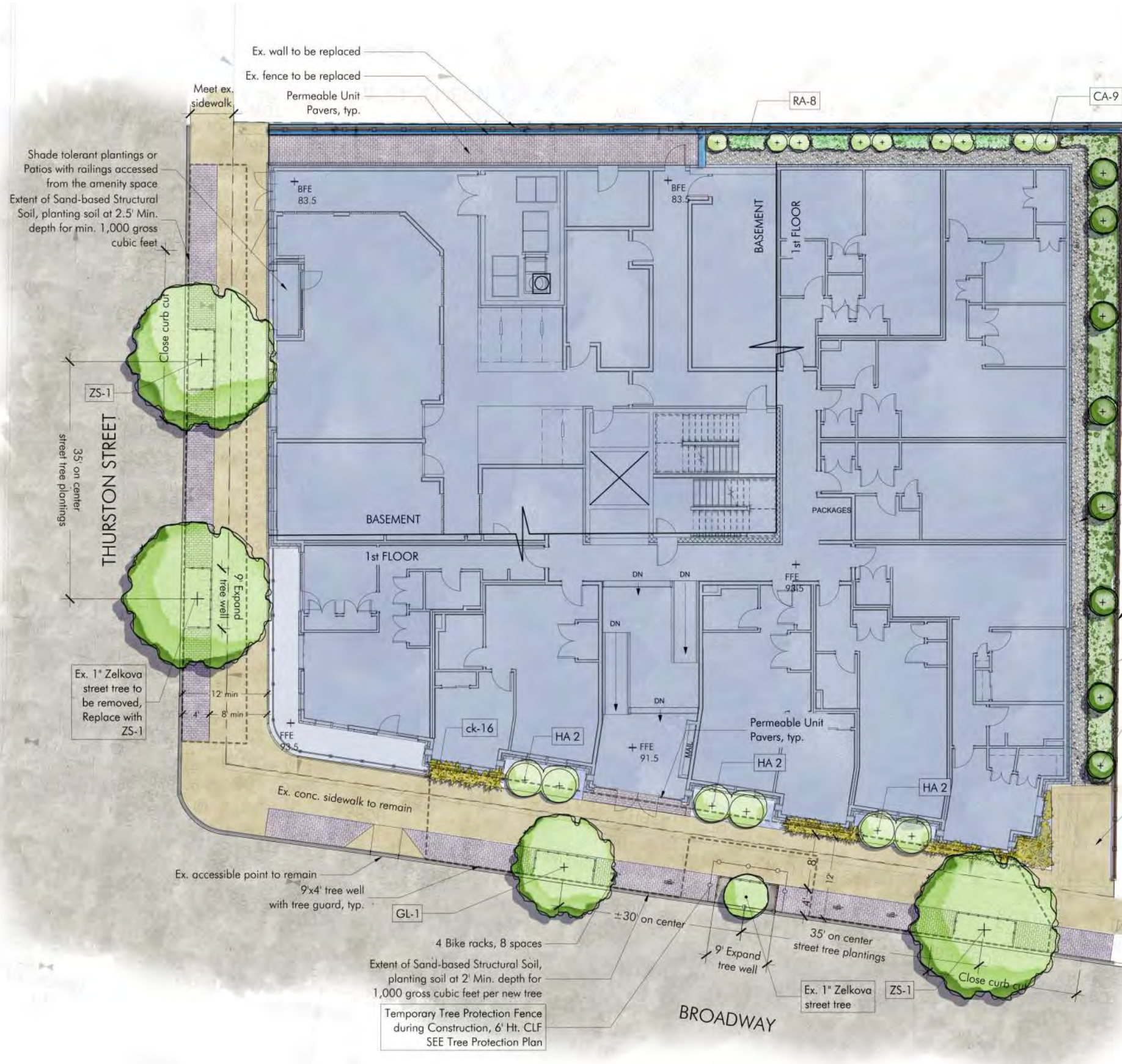
QUALITY LEVEL C: "QLC", UTILITY INFORMATION OBTAINED AS ABOVE FOR QUALITY LEVEL D, PLOTTED TO CORRELATE WITH SURFACE UTILITY FEATURES WHICH HAVE BEEN FIELD VERIFIED, SURVEY LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. INCLUDED IN THIS CATEGORY ARE UTILITY DEPICTIONS, WHICH IN THE PROFESSIONAL OPINION OF THE SUBSURFACE UTILITY ENGINEER REPRESENT THE MOST PROBABLE APPROXIMATE HORIZONTAL LOCATION, TYPE AND/OR EXISTENCE OF A UTILITY.

QUALITY LEVEL B: "QLB", UTILITY INFORMATION DERIVED BY ESTABLISHING THE SURFACE HORIZONTAL LOCATION OF A UTILITY USING ELECTRONIC METHODS. SAID INFORMATION IS SUBSEQUENTLY FIELD LOCATED AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS.

QUALITY LEVEL A: "QLA", UTILITY INFORMATION WHICH HAS BEEN VISUALLY VERIFIED, SURVEY LOCATED (BOTH HORIZONTALLY AND VERTICALLY) AND ACCURATELY REDUCED ONTO THE DESIGN/CONSTRUCTION DOCUMENTS. THIS IS TYPICALLY SHOWN AS A TEST HOLE OR OTHER DIMENSIONED INFORMATION.

ALL UNDERGROUND UTILITIES SHOWN HEREON ARE QUALITY LEVEL "D" (QLD) PER ASCE STANDARD 38-02 DESIGNATION UNLESS OTHERWISE NOTED. THEY ARE APPROXIMATE ONLY AND WERE COMPILED ACCORDING TO AVAILABLE RECORDS FROM THE VARIOUS COMPANIES AND PUBLIC AGENCIES. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD. BEFORE DESIGNING, EXCAVATING, BLASTING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, REPAIRING OR OTHER CONSTRUCTION, ALL UTILITY COMPANIES MUST BE NOTIFIED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS' CALL "DIG-SAFE" AT 1-888-344-7233 OR DIAL 811. DGT SURVEY GROUP ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENTS MUST BE CONSULTED.

366 BROADWAY	RESEARCH: D. CLIFFORD
	FIELD: K. GOMES
TOPOGRAPHIC PLAN OF LAND IN SOMERVILLE, MASSACHUSETTS MIDDLESEX COUNTY	CALCULATION: B.T.
	DRAFTING: W.S./V.V.
PREPARED FOR: KEMS CORPORATION	CHECK: M. CLIFFORD, PLS.
	PROJ. MANAGER: B. TALEB
PREPARED BY: Framingham • Boston • Worcester 803 SUMMER STREET, 1ST FLOOR, BOSTON, MA 02127 617.275.0541 www.DGTassociates.com	DATE: 17-NOV-2022
	JOB NO. S-1656-01
	CRD FILE S-1656-ALL NAD83_NAVD88
	SHEET NO. 1 OF 1



PROPOSED PLANT LIST						
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
TREES						
GL	1	Gleditsia triacanthos 'Street Keeper'	Columnar Honey Locust	2.5-3' cal.	B&B	native, Fall Dig Hazard
LSS	8	Liquidambar styraciflua 'Slender silhouette'	Fastigiate Sweetgum	3-3.5' cal.	B&B	native, Fall Dig Hazard
ZS	2	Zelkova serrata 'Village Green'	Japanese Zelkova	2.5-3' cal.	B&B	Fall Dig Hazard
SHRUBS (all ≥ 2' height unless otherwise noted)						
CA	9	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots	native
HA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pots	native
RA	8	Rhus aromatica 'Gro-Low'	Fragrant Sumac	3 gal.	Pots	native, <2' ht.
PERENNIALS (all <2' height)						
ck	16	Calamagrostis acutiflora 'Karl Foerster'	K. Foerster Feather Reed Grass	2 gal.	Pots	
dp	70	Dennstaedia punctilobula	Hay-Scented Fern	1 gal.	Pots, 24" o.c.	native



Liquidambar styraciflua 'Slender Silhouette',
Fastigiate Sweetgum



Clethra alnifolia 'Hummingbird'
Summersweet



Rhus aromatica 'Gro-Low'
Fragrant Sumac



Hydrangea arborescens 'Annabelle'
Annabelle Hydrangea



Existing Zelkova serrata
'Village Green' (Broadway)



Zelkova serrata 'Village Green'
Japanese Zelkova



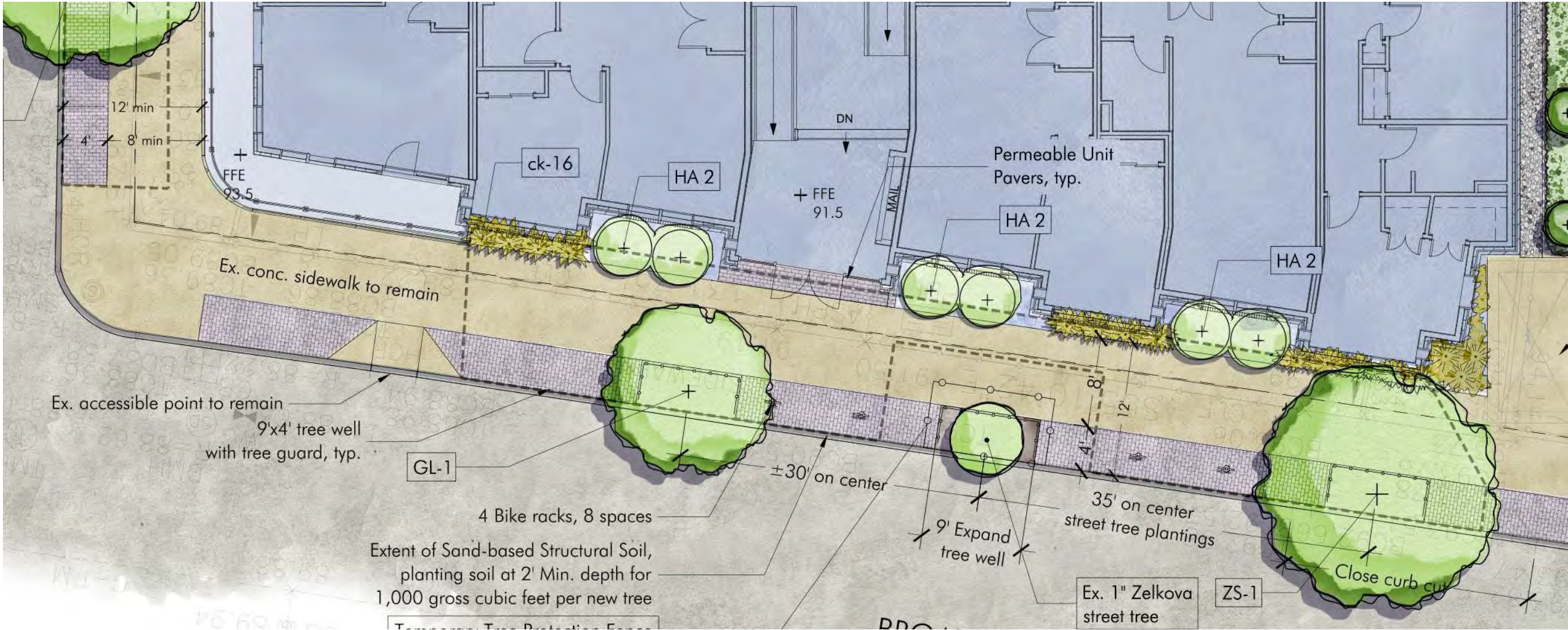
Tree trench with permeable pavers



Tree guard for protecting street tree plantings

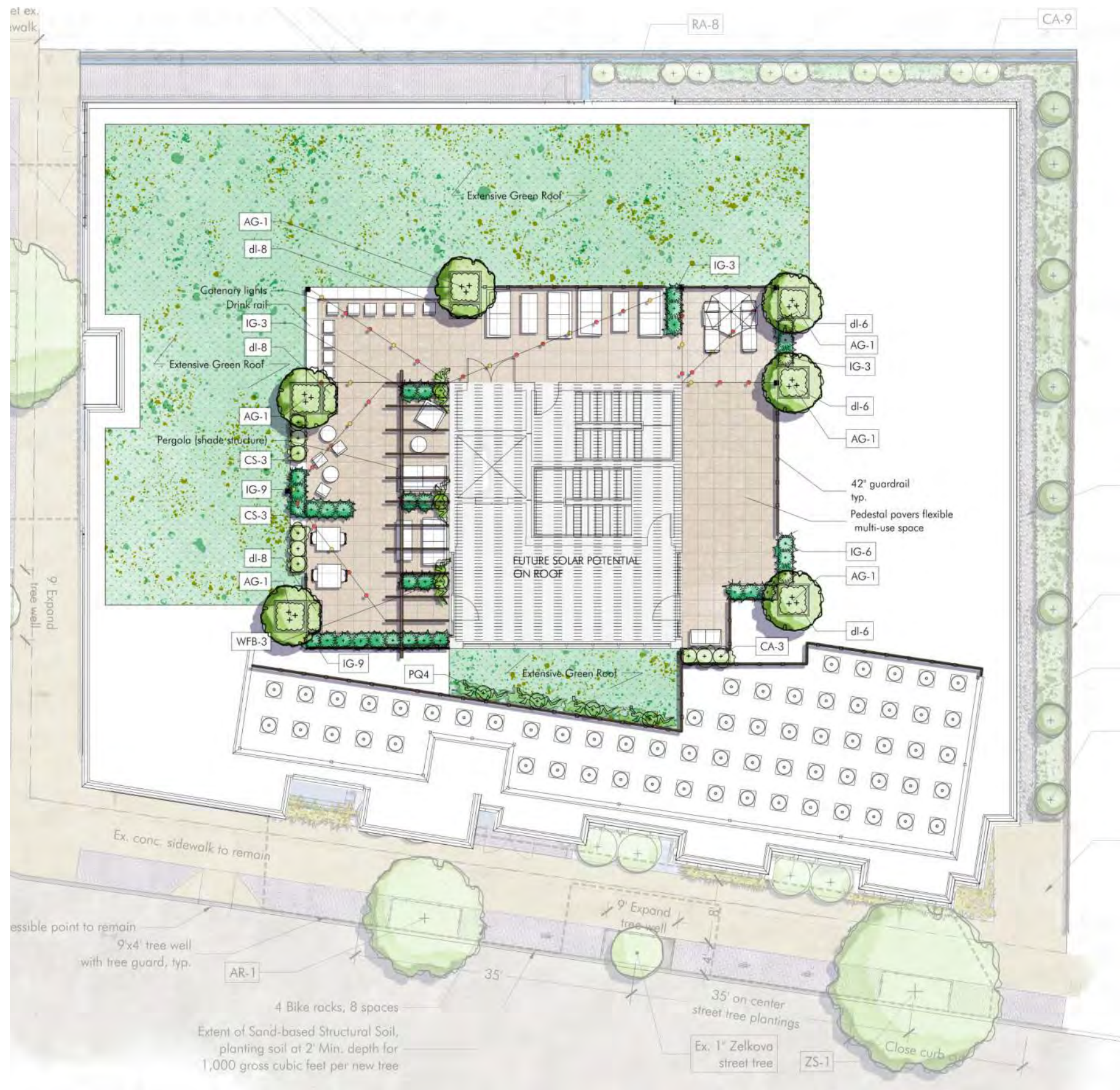


Permeable Unit Pavers, Eco-Priora by Unilock OR approved equal



Somerville City-Standard
Visitor Bike Rack with City
Icon, Hoop by Dero OR
approved equal





PROPOSED PLANT LIST						
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES	
SHRUBS (all ≥ 2' height)						
AG	6	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	2-2.5" Cal.	B&B	multi-stem
CA	3	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots	native
CS	6	Cornus sericea 'Arctic Fire'	Red Twig Dogwood	3 gal.	Pots	native
IG	30	Ilex glabra 'Gem Box'	Dwarf Inkberry	3 gal.	Pots	native
PQ	4	Parthenocissus quinquefolia	Virginia Creeper	3 gal.	Pots	native
WFB	3	Wisteria frutescens 'Blue Moon'	American Wisteria-lavender blue	5 gal.	Pots	
PERENNIALS (all <2' height)						
dl	42	Dianthus 'Lionheart'	Pink Lionheart Dianthus	1 qt	Pots	native



Amelanchier x grandiflora 'Autumn Brilliance' Serviceberry



Wisteria frutescens 'Blue Moon' American Wisteria Lavender Blue



Ilex glabra 'Gem Box' Dwarf Inkberry

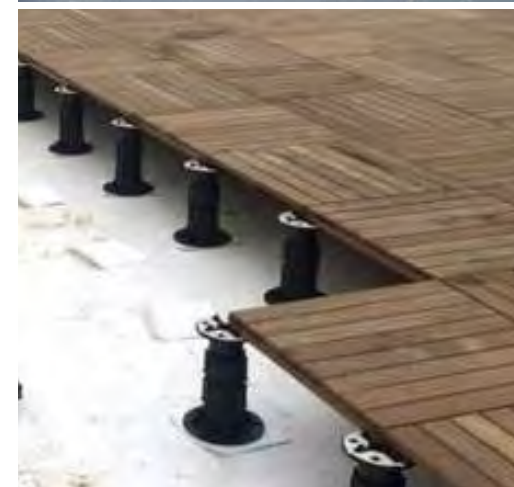
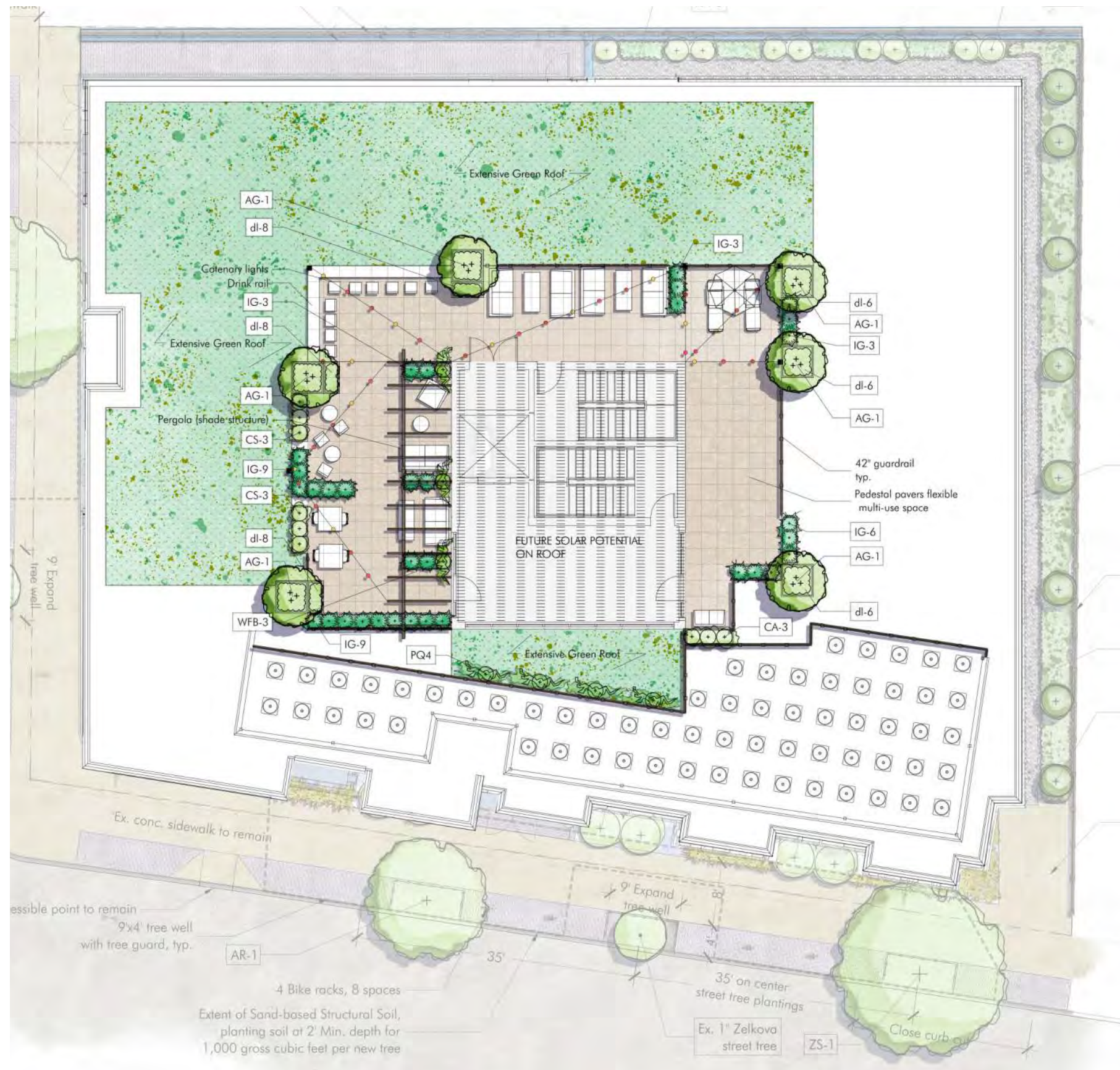


Cornus sericea 'Arctic Fire' Red Twig Dogwood



Clethra alnifolia 'Hummingbird' Summersweet





Pedestal Paving System



Extensive Greenroof System with Sedum Pergola, shade structure



Catenary Lights



Somerville Green Score: 366 BROADWAY

	Area or Number	Sq Ft Credit	Multiplier	Weighted Area	Score Value	% of Score
	13,495					
Soils						
	0	actual sq ft	0.3	0	0.000	0%
A	835	actual sq ft	0.6	501	0.037	12%
B	295	actual sq ft	0.2	59	0.004	1%
C	310	actual sq ft	0.5	155	0.011	4%
Groundcovers						
	0	actual sq ft	0.1	0	0.000	0%
Plants						
D	470	actual sq ft	0.2	94	0.007	2%
E	15	12	0.3	54	0.004	1%
Trees						
	0	50	0.6	0	0.000	0%
F	8	450	0.6	2160	0.160	51%
	0	65	0.8	0	0.000	0%
Engineered Landscape						
		actual sq ft	0.1	0	0.000	0%
		actual sq ft	1.0	0	0.000	0%
		actual sq ft	0.1	0	0.000	0%
G	2940	actual sq ft	0.4	1176	0.087	28%
		actual sq ft	0.6	0	0.000	0%
	N/A	Calculate as if soils, groundcovers, plants, and trees				N/A

Green Score = 0.311

Required Score:
Target Score:
Actual Green Score:

Green Score District Requirements			
NR & UR	MR3 & MR4	MR5, MR6, & HR	FAB, CC, CB, CI
0.35	0.25	0.20	0.20
0.40	0.3	0.25	-
0.311	0.311	0.311	0.311

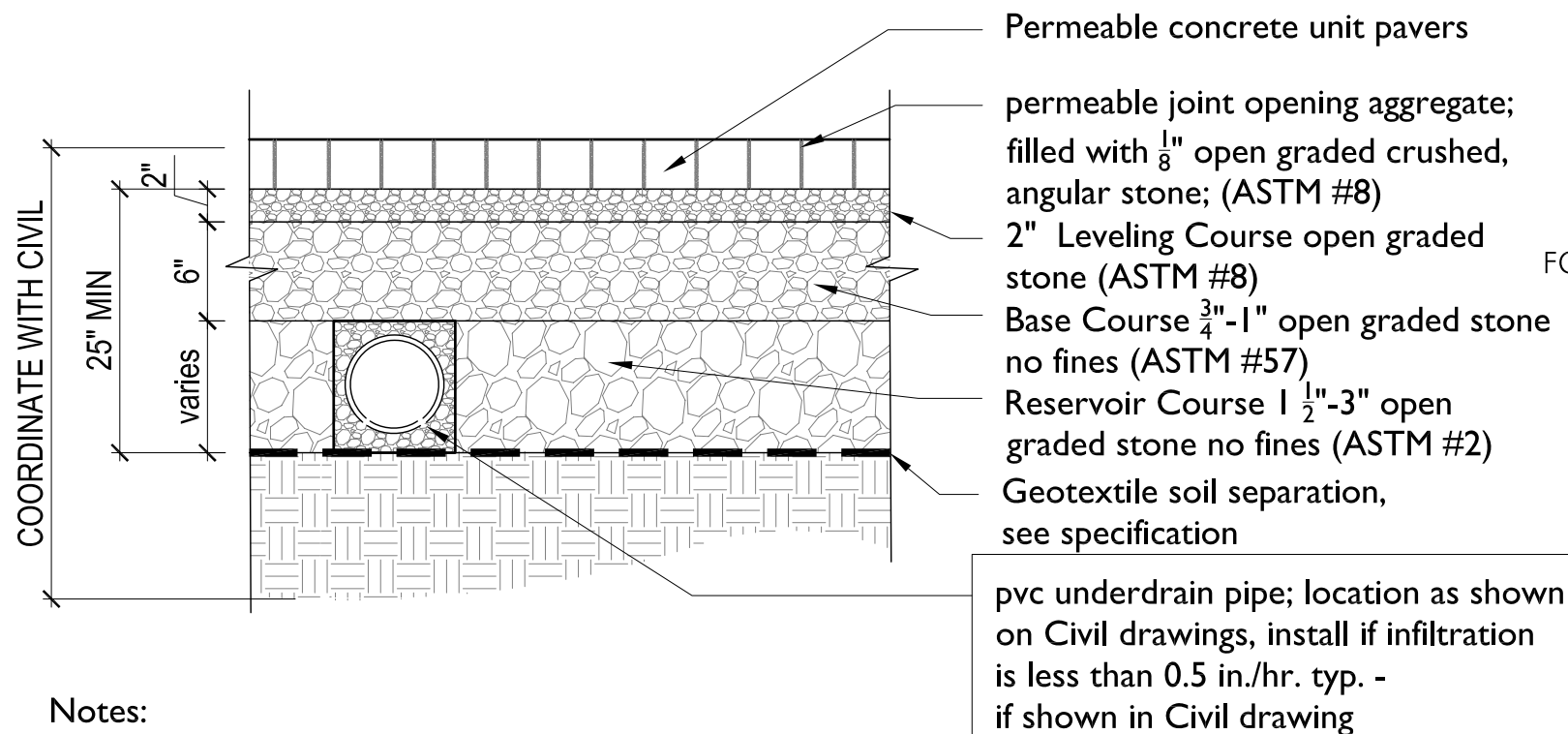
KEY PLAN: AT GRADE



KEY PLAN: ROOF DECK

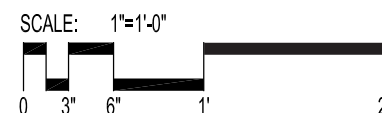


PERVIOUS UNIT PAVER DETAIL

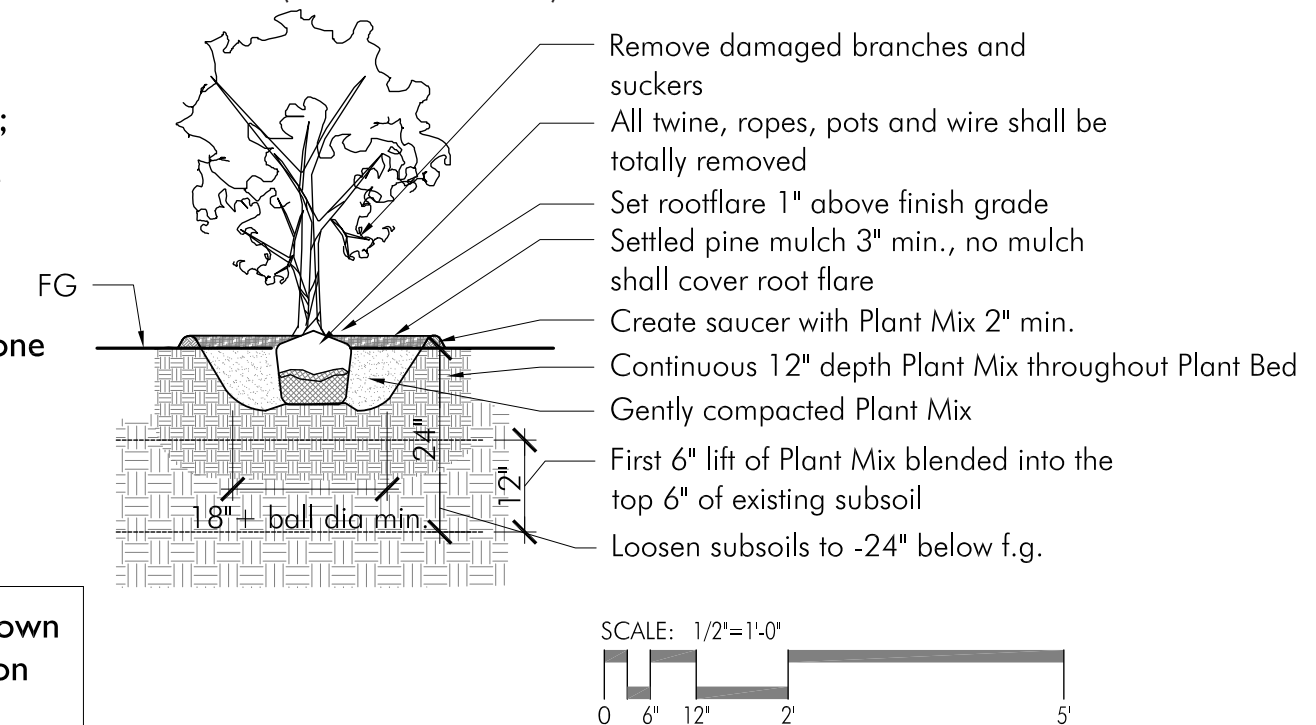


Notes:

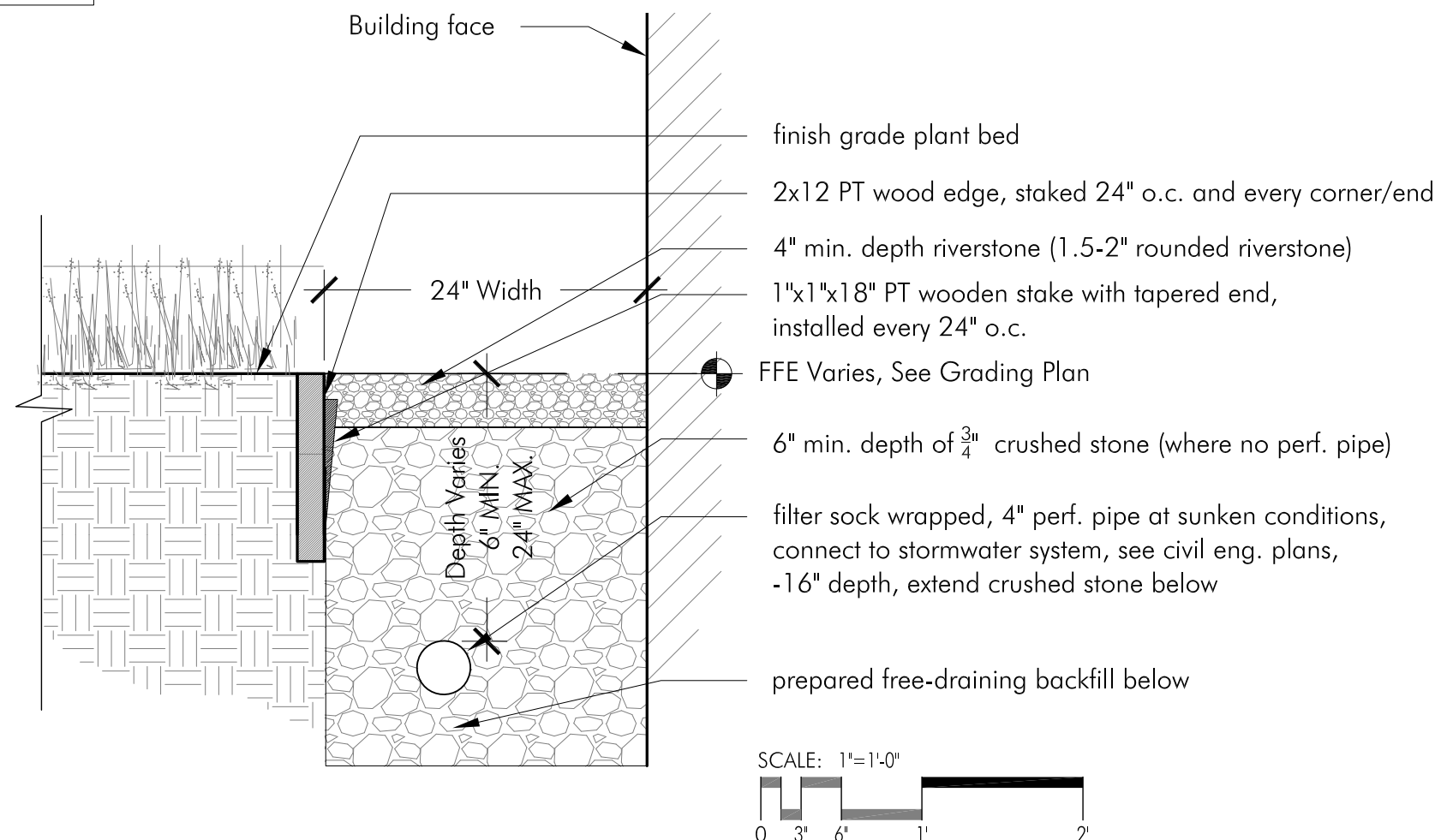
1. Edge restraints vary see plan.
2. All aggregate material shall be crushed, angular stone and free of fines.
3. Compact subsoil with a California bearing ratio (cbr) of less than 5% as directed by a professional engineer.
4. Surface slope shall be a minimum of 1% and a maximum of 5%.
5. Install pvc underdrain pipe where infiltration rate of subsoil is less than 0.5 in./hr. size as directed by a professional engineer.
6. Never build permeable pavements on organic clay soils of high plasticity and/or peat, mulch, soils with high organic content.
7. Maintain a minimum distance of 2' between bottom of permeable base and water table.
8. The minimum aggregate thicknesses are after compaction.



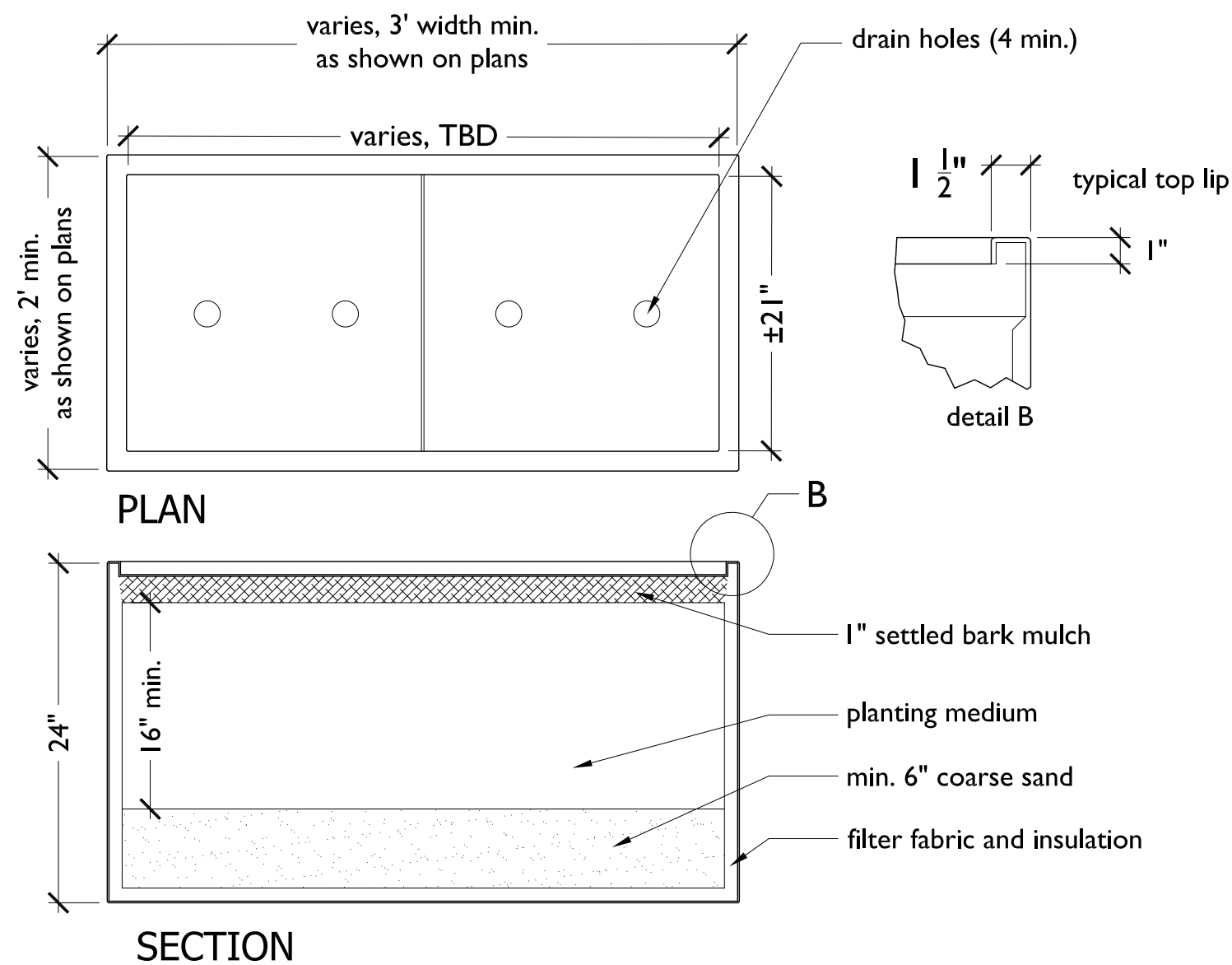
TYPICAL PLANT (TREE OR SHRUB) DETAIL



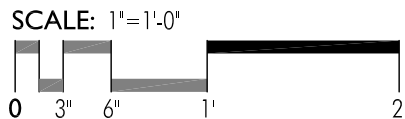
PERVIOUS CRUSHED STONE MAINTENANCE EDGE



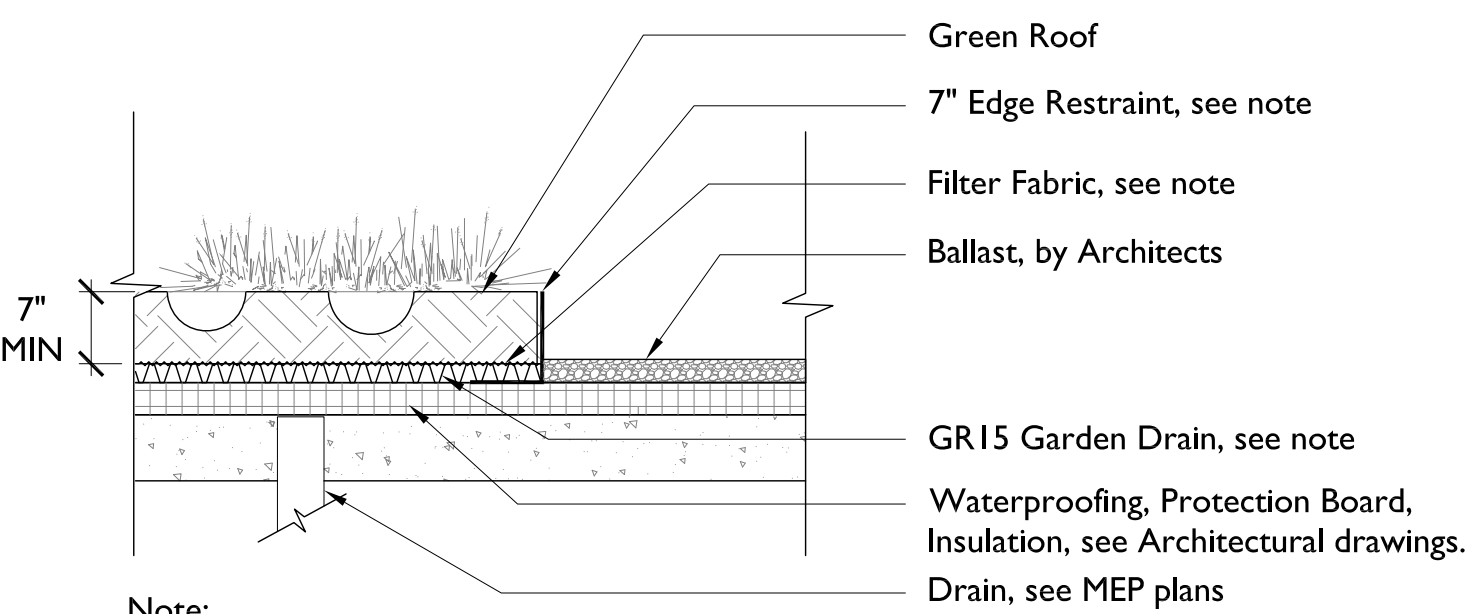
LIGHTWEIGHT PLANTER



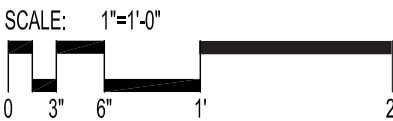
- Note:
1. Wilshire Planter by Tournesol
 2. Provide 4 drain holes.
 3. Provide 1" insulation on interior walls and bottom (with drain holes). Align holes for clear drainage.
 4. Filter fabric shall extend to -2" from top lip.
 5. Color and texture shall be approved by LA
 6. See Specification



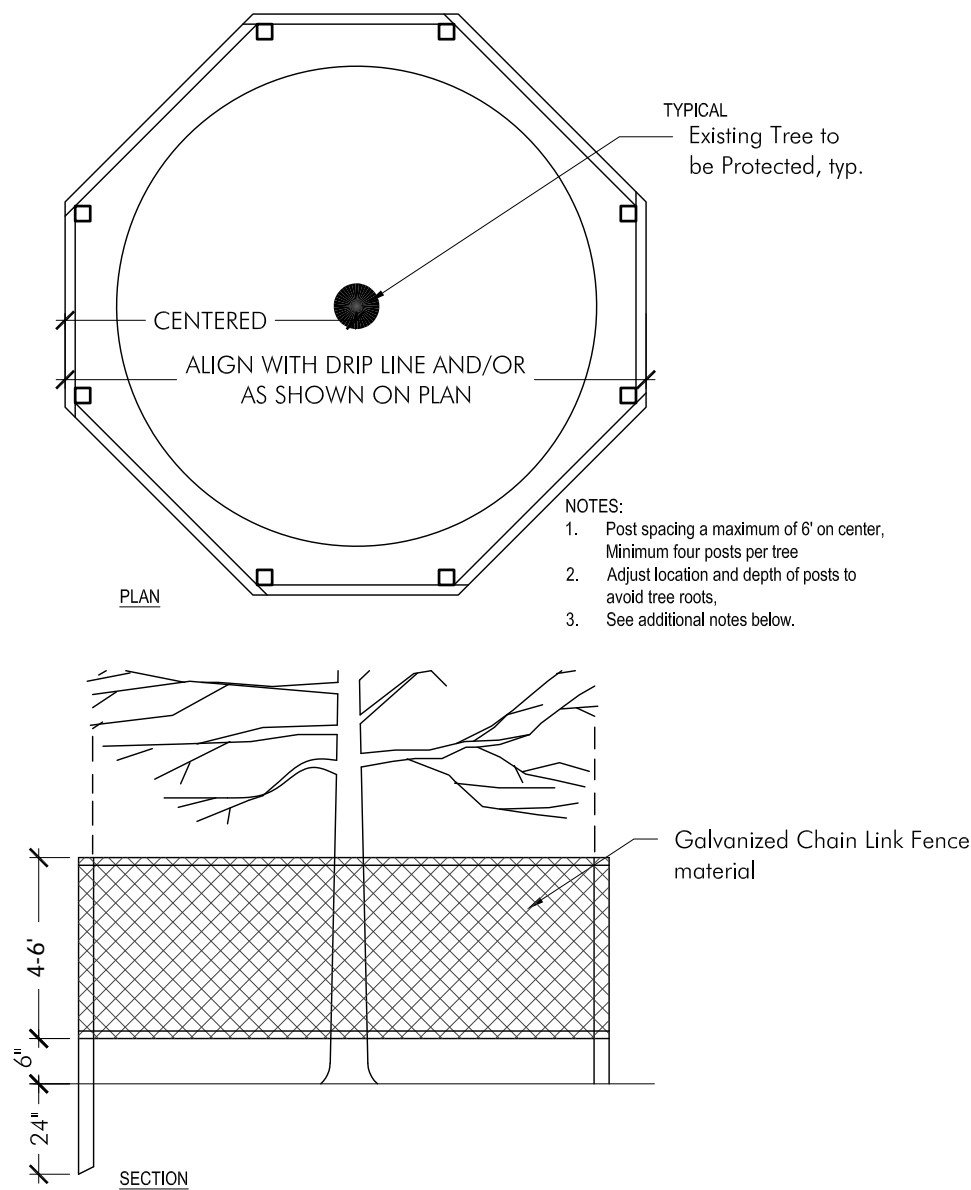
EXTENSIVE GREEN ROOF DETAIL



- Note:
1. Sedum Sod by Hydrotech or similiar
 2. Edge Restraint by Permaloc
 3. Drainage Mat by Hydrotech GR-I5 or similiar

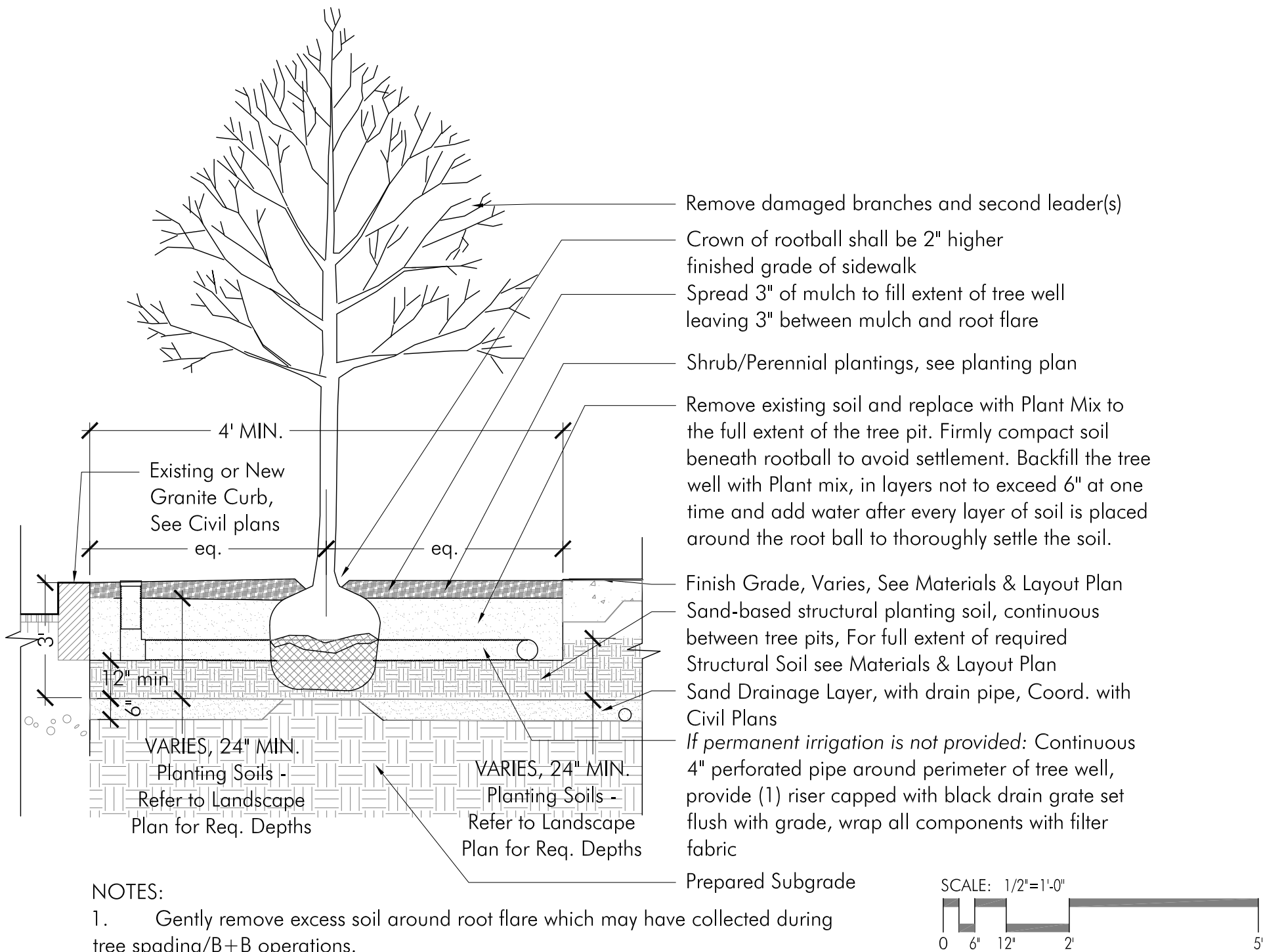


TREE PROTECTION DETAIL

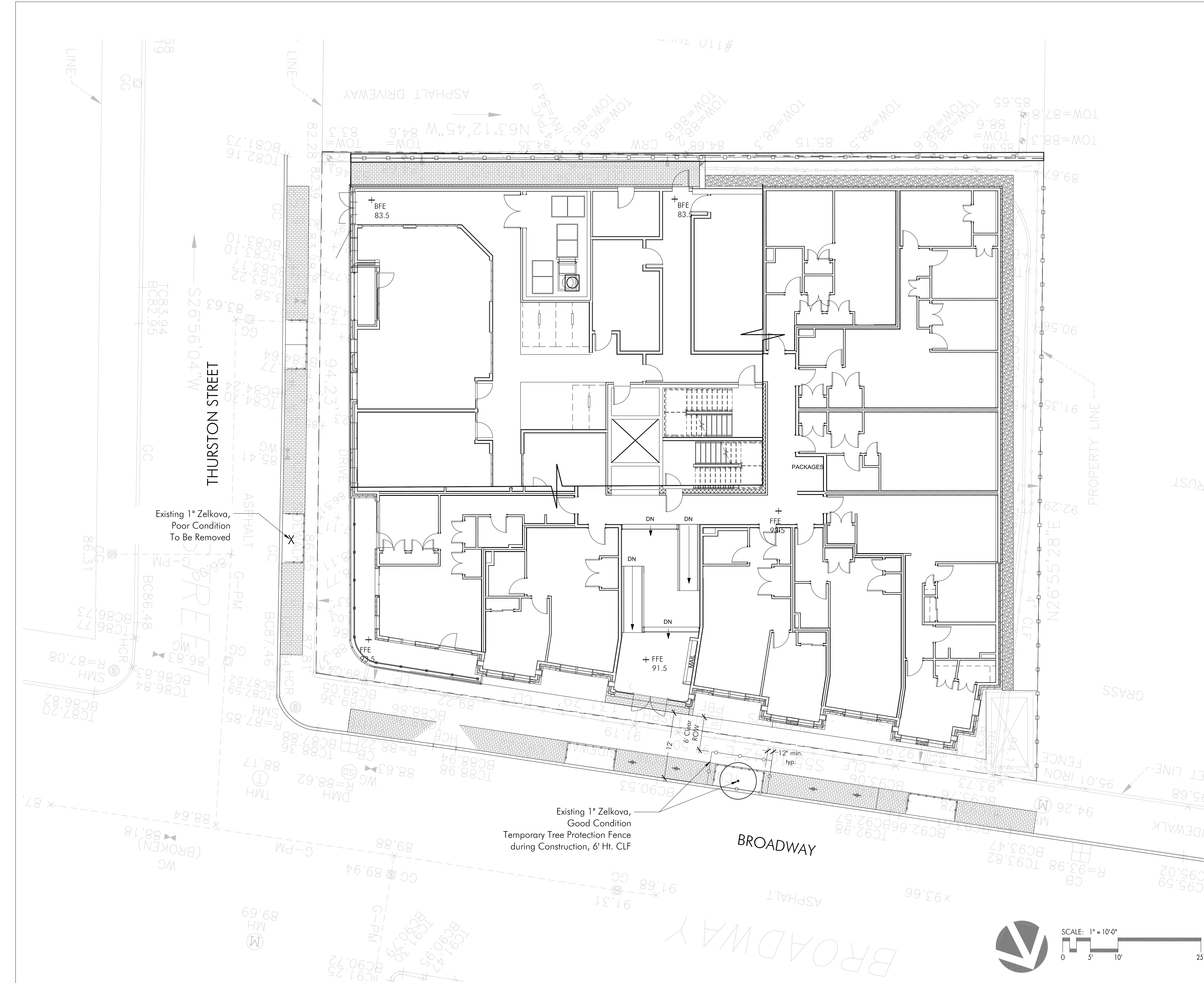


- NOTES:
1. Installed tree protection must be in place prior to any work (including demolition), and approved by landscape architect. tree protection to remain in place throughout construction. remove for final landscape treatment, after approval by landscape architect.
 2. Adjust location of tree protection within tree dripline only when necessary to perform work shown on drawings.
 3. Stockpiling of soils, storing of materials, parking of vehicles or location of temporary structures shall not occur at any time within the dripline of trees to remain.
 4. All work within drip line must be done by hand.
- N.T.S

NEW STREET TREE PLANTING WITH STRUCTURAL SOILS DETAIL



Y:\Broadway\366\GAD\BROADWAY.dwg



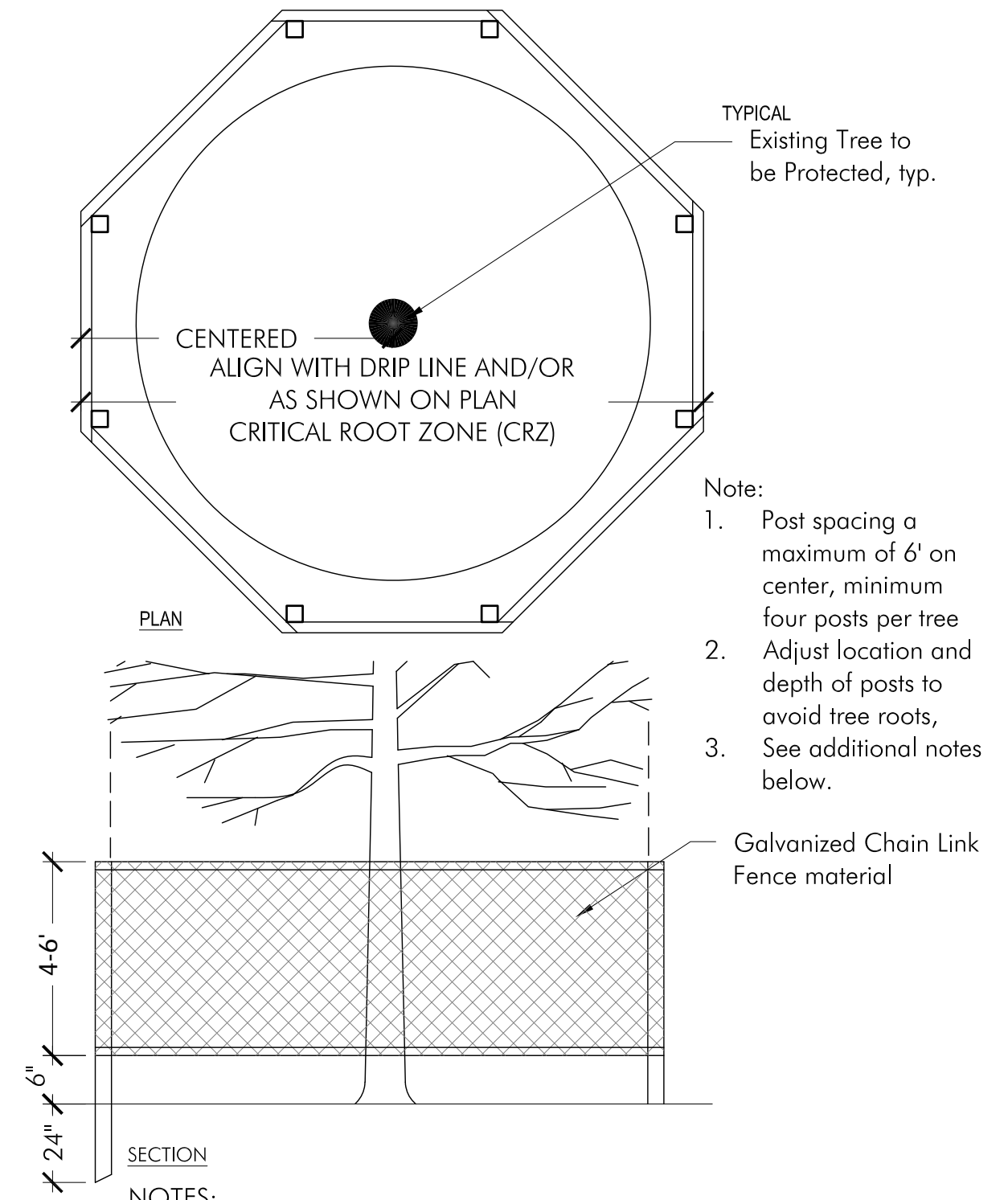
Tree Protection Prior to Site Work:

1. Prior to initiating site work, the Contractor shall install a 4' ht. chain link construction fence as shown on the plan to establish the Tree Protection Zone (TPZ). The Contractor shall not enter the tree protection zone with equipment, store equipment or materials within the TPZ for the duration of the construction project. The TPZ shall be maintained throughout the construction period and may only be removed as specifically directed by the Landscape Architect or Town Tree Warden.
2. In locations where excavation and construction work will be within the Tree Protection Zone (TPZ), the Contractor shall meet with the Landscape Architect to describe the scope of excavation or filling. Equipment shall not operate within the TPZ except as approved and directed by Landscape Architect. Typically, equipment shall set up and operated from beyond the TPZ. This may involve some adjustment in the location of chain link fencing.
3. A certified arborist shall be hired to cut and prune limbs and branches that may hinder construction operations or overhang the proposed building.
4. Install 2 to 3 inches of woodchip mulch or a blend of composted woodchips and bark mulch over the entire TPZ or 30' from the tree protection fence-- which ever is less.
5. The tree protection fence shall not be removed until the end of the construction of the buildings at such time as the lawn work and plantings work is initiated. The Contractor shall request and get approval to remove the tree protection fence by the Landscape Architect.
6. The Contractor shall set up and provide a temporary irrigation system in all the TPZ areas as directed by the Landscape Architect or Arborist. During the growing season (June 1 through October 1), the irrigation system shall supply 1" of water after any period of over 1 week when there is no natural rainfall. This added water will support vigorous tree growth allowing the tree to recover from the root damage from construction.

TREE SURVEY			
Species	DBH (inches)	Heath	To Remain + To Protect
Zelkova	1"	Good	To Remain + To Protect
Zelkova	1"	Poor/ Damaged	To Be Removed

*Existing DBH as measured on-site February 2022

DBH = Diameter at Breast Height = trunk diameter in inches measured 4 1/2 feet from the ground



- NOTES:
1. Installed tree protection must be in place prior to any work (including demolition), and approved by landscape architect. tree protection to remain in place throughout construction. remove for final landscape treatment, after approval by landscape architect.
 2. Adjust location of tree protection within tree dripline only when necessary to perform work shown on drawings.
 3. Stockpiling of soils, storing of materials, parking of vehicles or location of temporary structures shall not occur at any time within the dripline of trees to remain.
 4. All work within drip line must be done by hand.

CHAIN LINK TREE PROTECTION FENCE
SCALE: NTS

1

VERDANT
LANDSCAPE ARCHITECTURE
318 Harvard Street, Suite 25, Brookline, MA 02446
Verdant Landscape Architecture.com
617.735.1180

366 BROADWAY
SOMERVILLE, MA

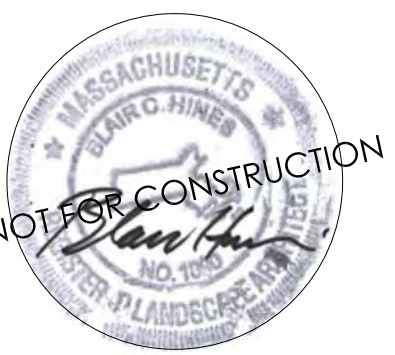
TREE PROTECTION PLAN

Project #:
Date: 03/24/2023
Drawn by: JN
Reviewed: BH
Scale: As noted

Revisions:

L9

© Verdant Landscape Architecture



366 BROADWAY
SOMERVILLE, MA

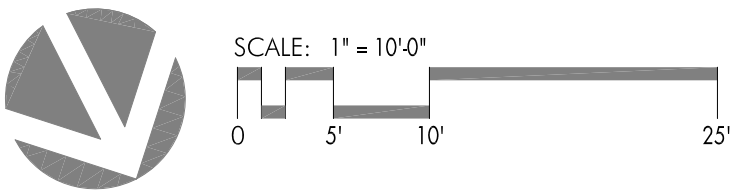
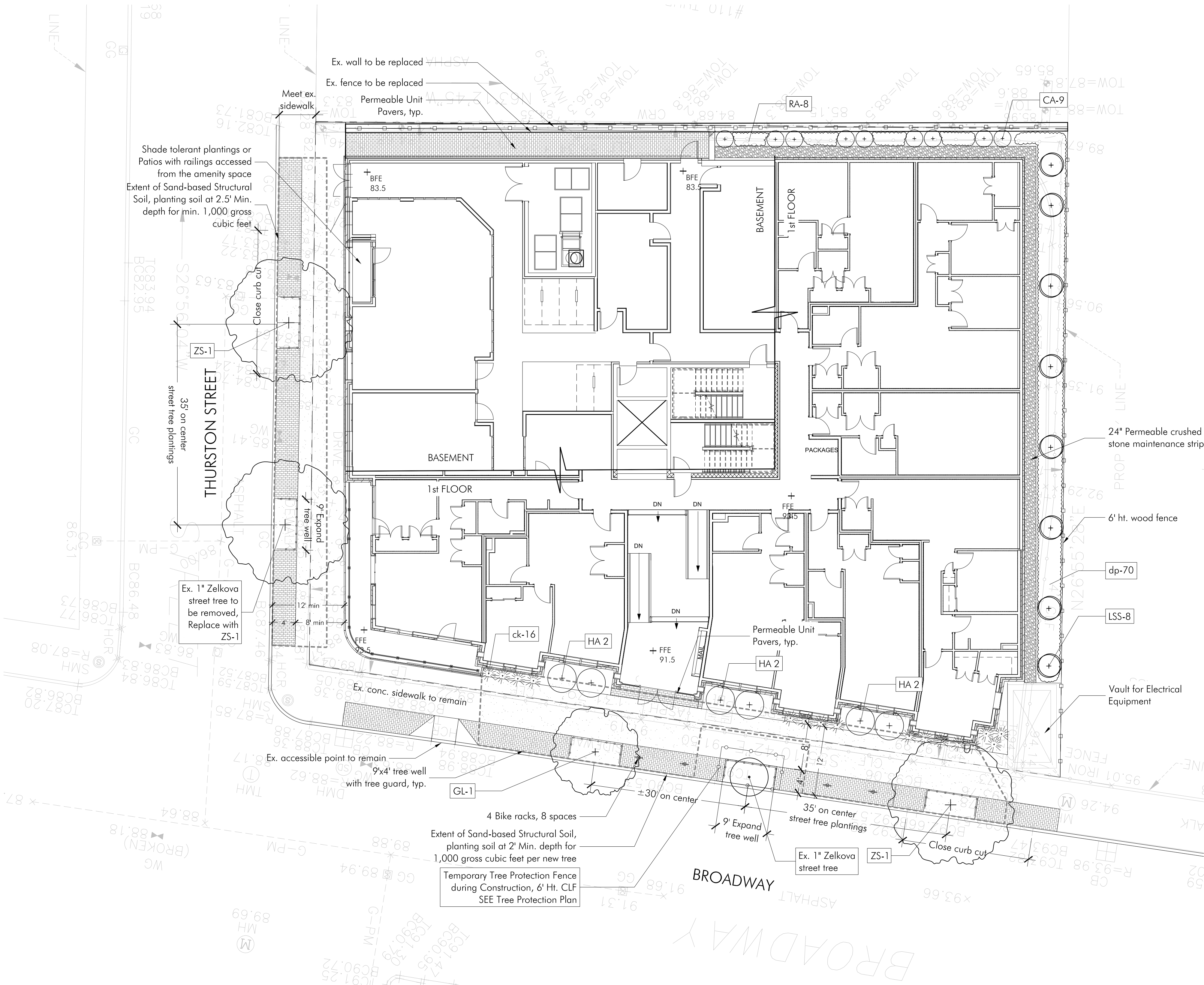
LANDSCAPE PLAN

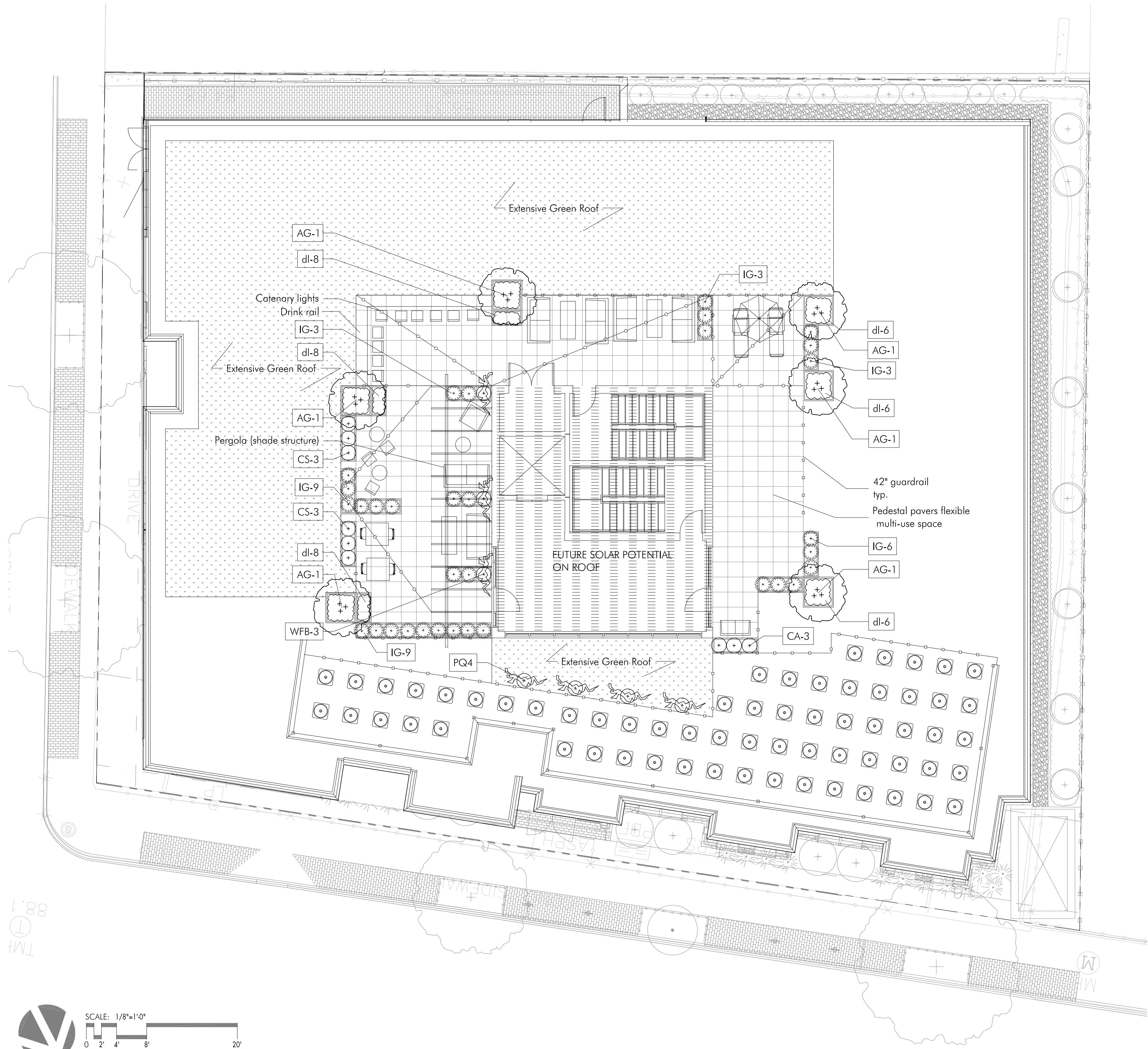
Project #:	Date: 03/24/2023
Drawn by: JN	Reviewed: BH
Scale: As noted	

Revisions:

LO

PROPOSED PLANT LIST					
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
TREES					
GL	1	Gleditsia triacanthos 'Street Keeper'	Columnar Honey Locust	2.5-3" cal.	B&B native, Fall Dig Hazard
LSS	8	Liquidambar styraciflua 'Slender silhouette'	Fastigiate Sweetgum	3-3.5" cal.	B&B native, Fall Dig Hazard
ZS	2	Zelkova serrata 'Village Green'	Japanese Zelkova	2.5-3" cal.	B&B Fall Dig Hazard
SHRUBS (all ≥ 2' height unless otherwise noted)					
CA	9	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots native
HA	6	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pots native
RA	8	Rhus aromatica 'Gro-Low'	Fragrant Sumac	3 gal.	Pots native, <2' ht.
PERENNIALS (all <2' height)					
ck	16	Calamagrostis acutiflora 'Karl Foerster'	K. Foerster Feather Reed Grass	2 gal.	Pots
dp	70	Dennstaedia punctilobula	Hay-Scented Fern	1 gal.	Pots, 24" o.c. native





PROPOSED PLANT LIST					
SYMB	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
SHRUBS (all ≥ 2' height)					
AG	6	Amelanchier x grandiflora 'Autumn Brilliance'	Serviceberry	2-2.5" Cal.	B&B multi-stem, native
CA	3	Clethra alnifolia 'Hummingbird'	Summersweet	5 gal.	Pots native
CS	6	Cornus sericea 'Arctic Fire'	Red Twig Dogwood	3 gal.	Pots native
IG	30	Ilex glabra 'Gem Box'	Dwarf Inkberry	3 gal.	Pots native
PQ	4	Parthenocissus quinquefolia	Virginia Creeper	3 gal.	Pots native
WFB	3	Wisteria frutescens 'Blue Moon'	American Wisteria-lavender blue	5 gal.	Pots
PERENNIALS (all <2' height)					
dl	42	Dianthus 'Lionheart'	Pink Lionheart Dianthus	1 qt	Pots native



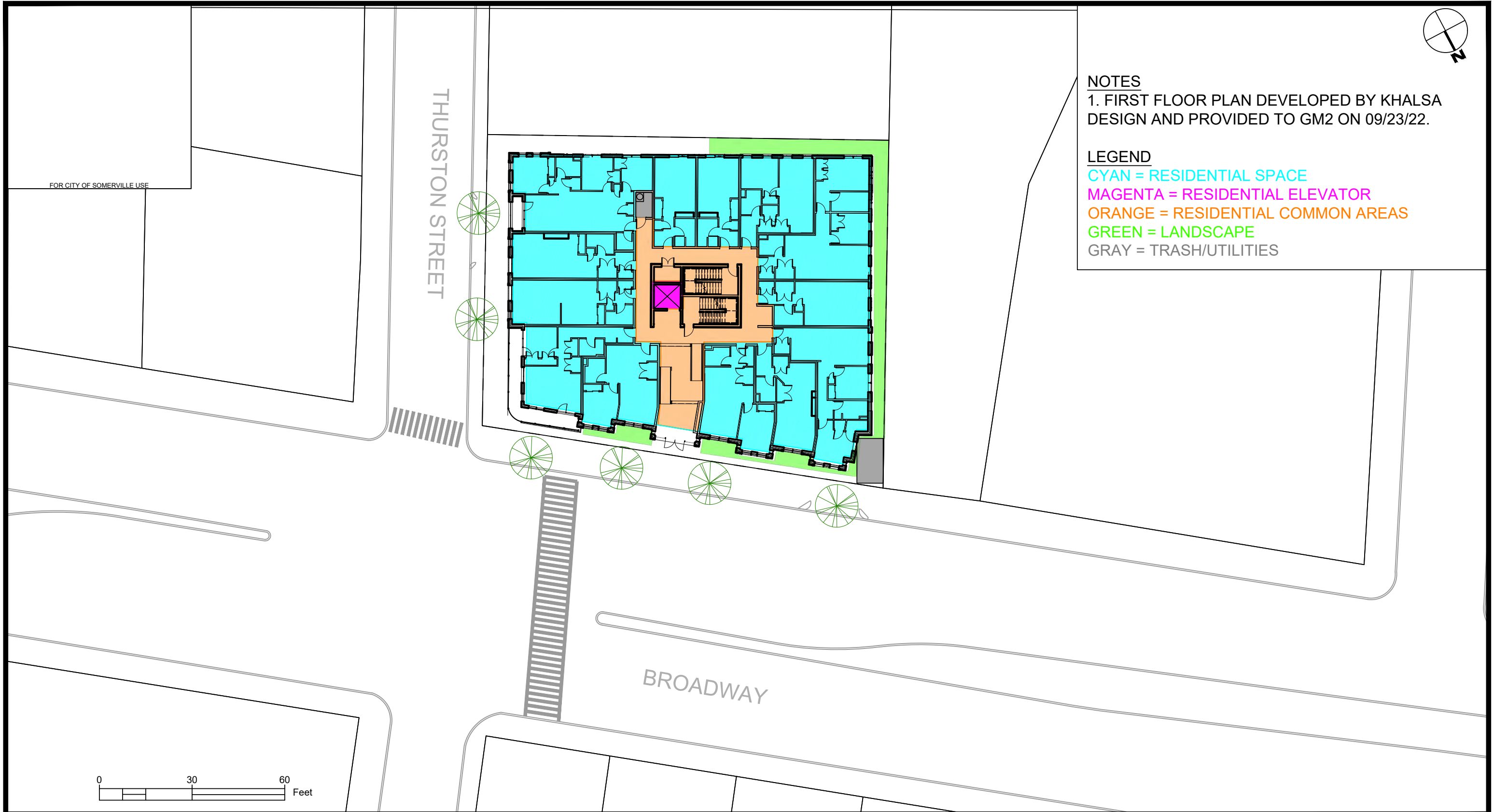
366 BROADWAY
SOMERVILLE, MA

ROOF DECK PLAN

Project #:	Date: 03/23/2023
Drawn by: JN	Reviewed: BH
Scale: As noted	

Revisions:

LRO



CLIENT:
366 BROADWAY SOMERVILLE, LLC
100 CONIFER HILL ROAD, SUITE 103
DANVERS, MA 01923

366 BROADWAY
SOMERVILLE, MA

Illustrative Site Plan

Figure C-101

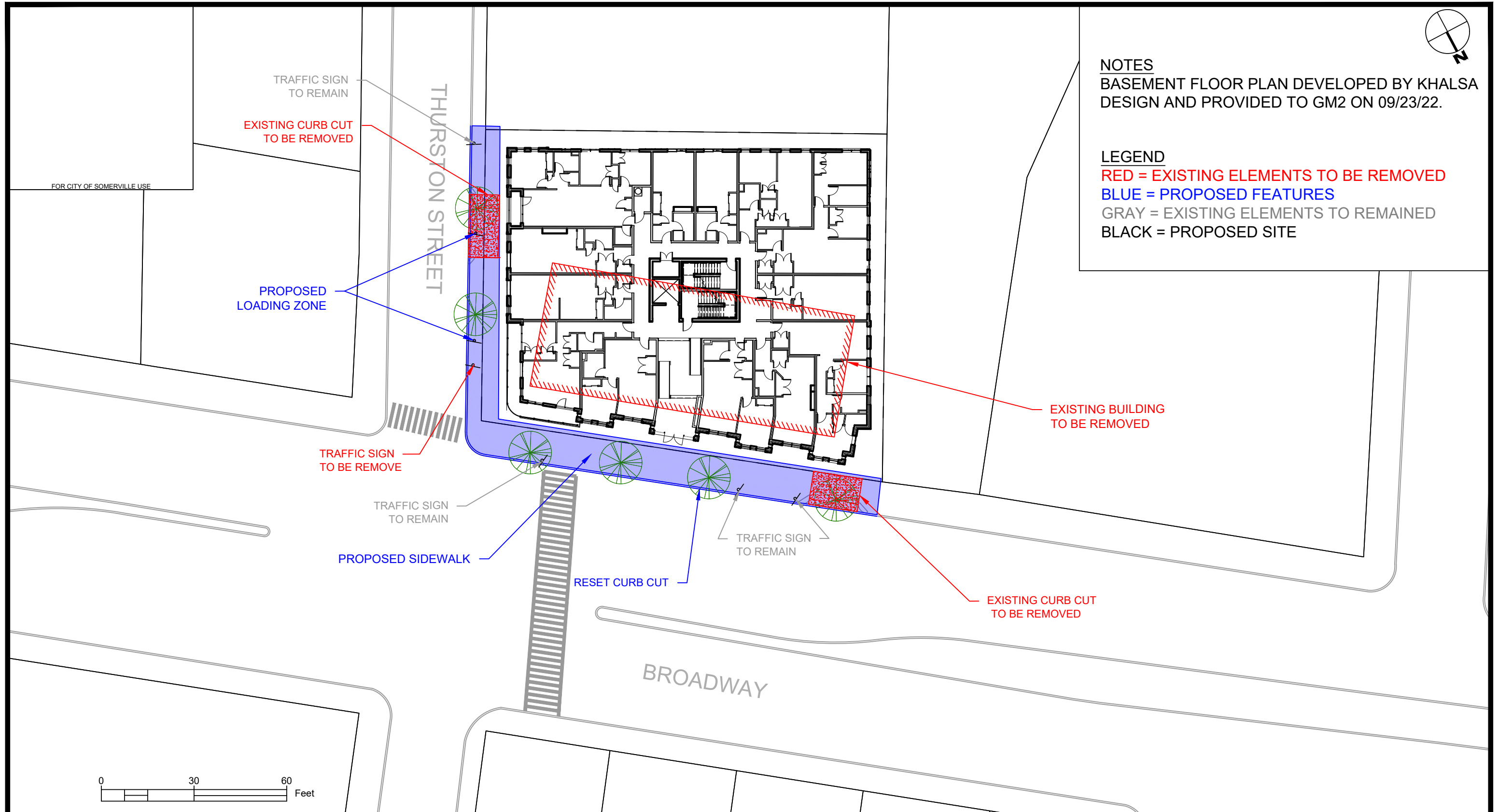
DR BY: GS
CHK BY: DG
GM2 PROJ NO: 40834.00
DATE: SEP 2022
SCALE: 1" = 30'

PROJECT TEAM

SITE NAME/ADDRESS

SHEET NAME

SHEET #



CLIENT:
366 BROADWAY SOMERVILLE, LLC
100 CONIFER HILL ROAD, SUITE 103
DANVERS, MA 01923

366 BROADWAY
SOMERVILLE, MA

Transportation
Elements Plan

Figure C-102

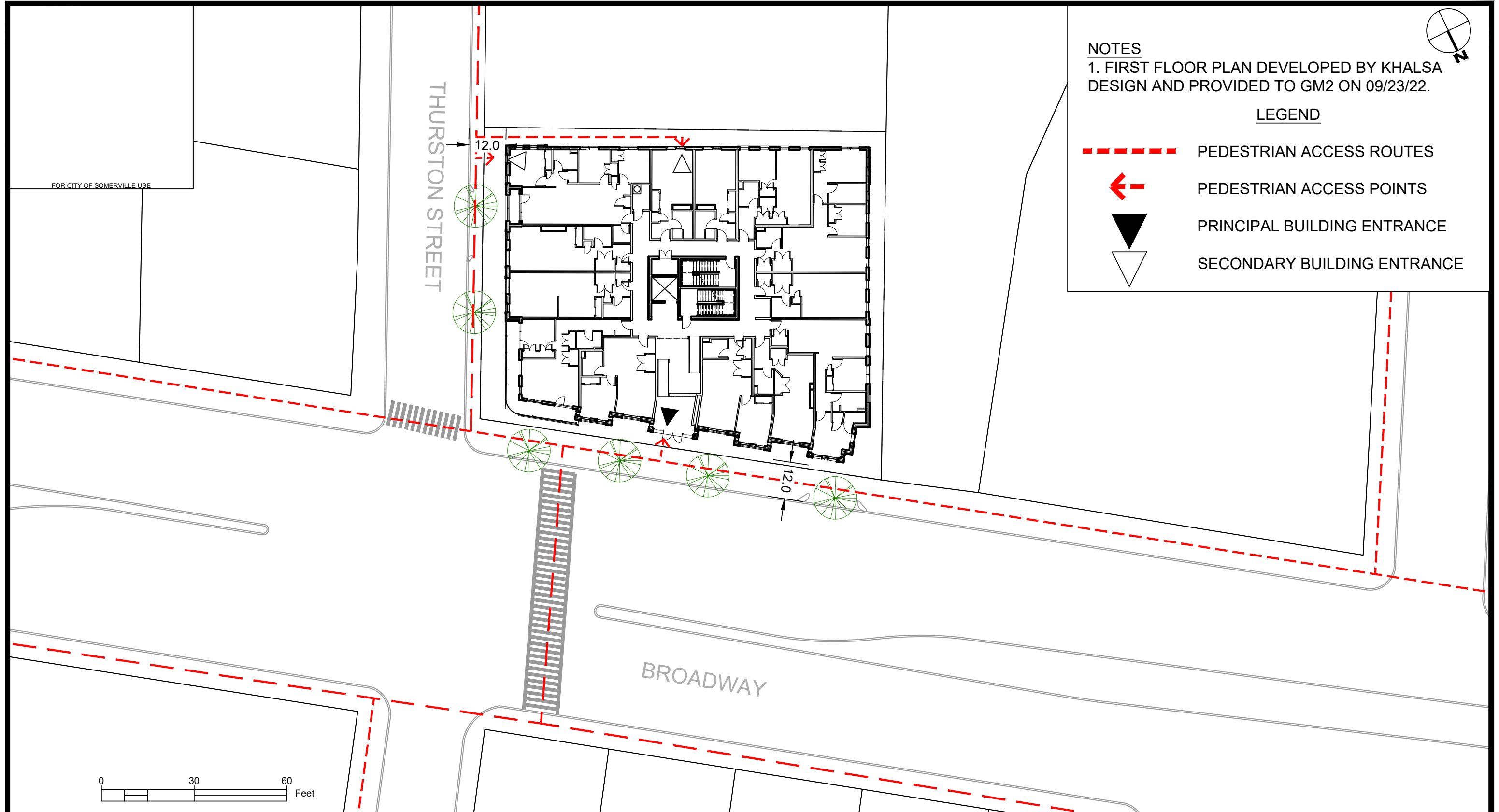
DR BY: GS
CHK BY: DG
GM2 PROJ NO: 40834.00
DATE: SEP 2022
SCALE: 1" = 30'

PROJECT TEAM

SITE NAME/ADDRESS

SHEET NAME

SHEET #



NOTES
 1. FIRST FLOOR PLAN DEVELOPED BY KHALSA DESIGN AND PROVIDED TO GM2 ON 09/23/22.

- LEGEND**
- - - - - PEDESTRIAN ACCESS ROUTES
 - ← PEDESTRIAN ACCESS POINTS
 - ▼ PRINCIPAL BUILDING ENTRANCE
 - ▽ SECONDARY BUILDING ENTRANCE



CLIENT:
 366 BROADWAY SOMERVILLE, LLC
 100 CONIFER HILL ROAD, SUITE 103
 DANVERS, MA 01923

**366 BROADWAY
 SOMERVILLE, MA**

**PEDESTRIAN
 ACCESS PLAN**

Figure C-103

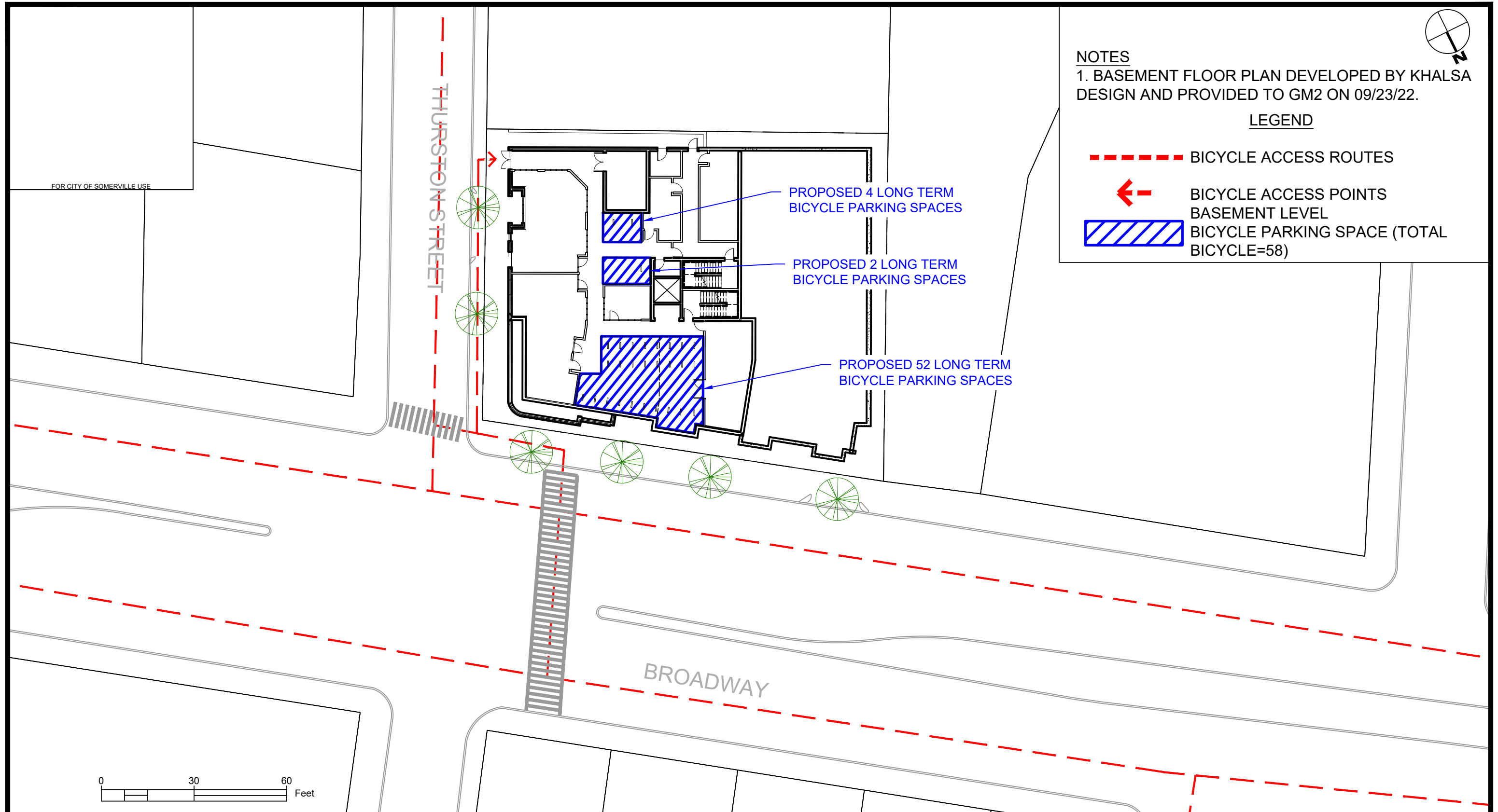
DR BY: GS
CHK BY: DG
GM2 PROJ NO: 40834.00
DATE: SEP 2022
SCALE: 1" = 30'

PROJECT TEAM

SITE NAME/ADDRESS

SHEET NAME

SHEET #



CLIENT:
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100 CONIFER HILL ROAD, SUITE 103
DANVERS, MA 01923

366 BROADWAY
SOMERVILLE, MA

BICYCLE PARKING
PLAN

Figure C-104

DR BY: GS

CHK BY: DG

GM2 PROJ NO: 40834.00

DATE: SEP 2022

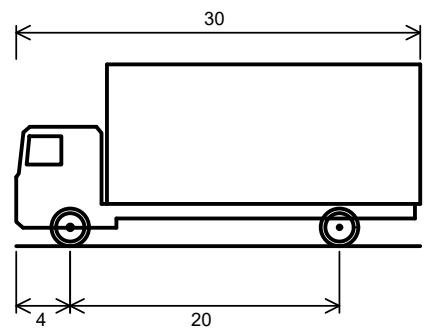
SCALE: 1" = 30'

PROJECT TEAM

SITE NAME/ADDRESS

SHEET NAME

SHEET #

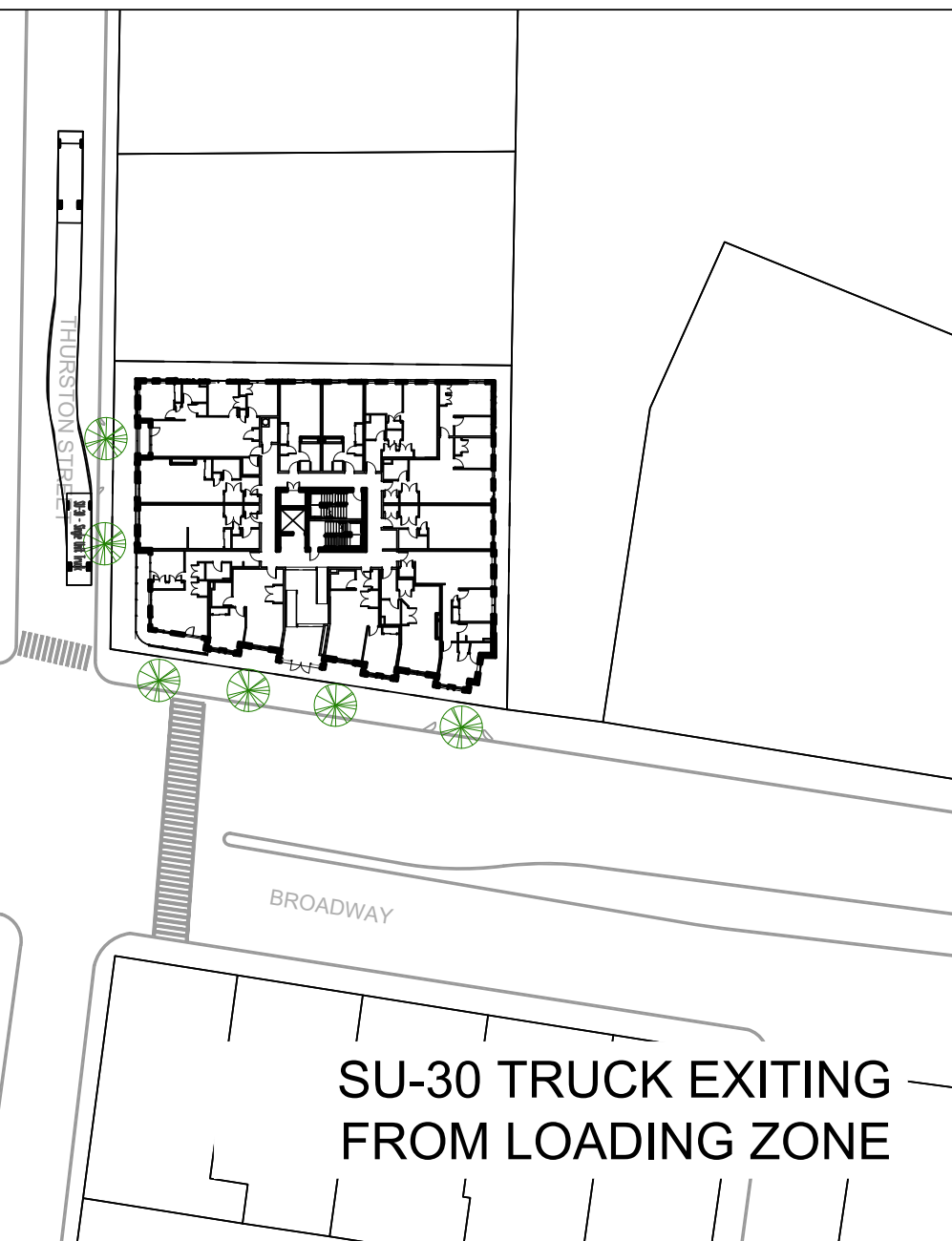
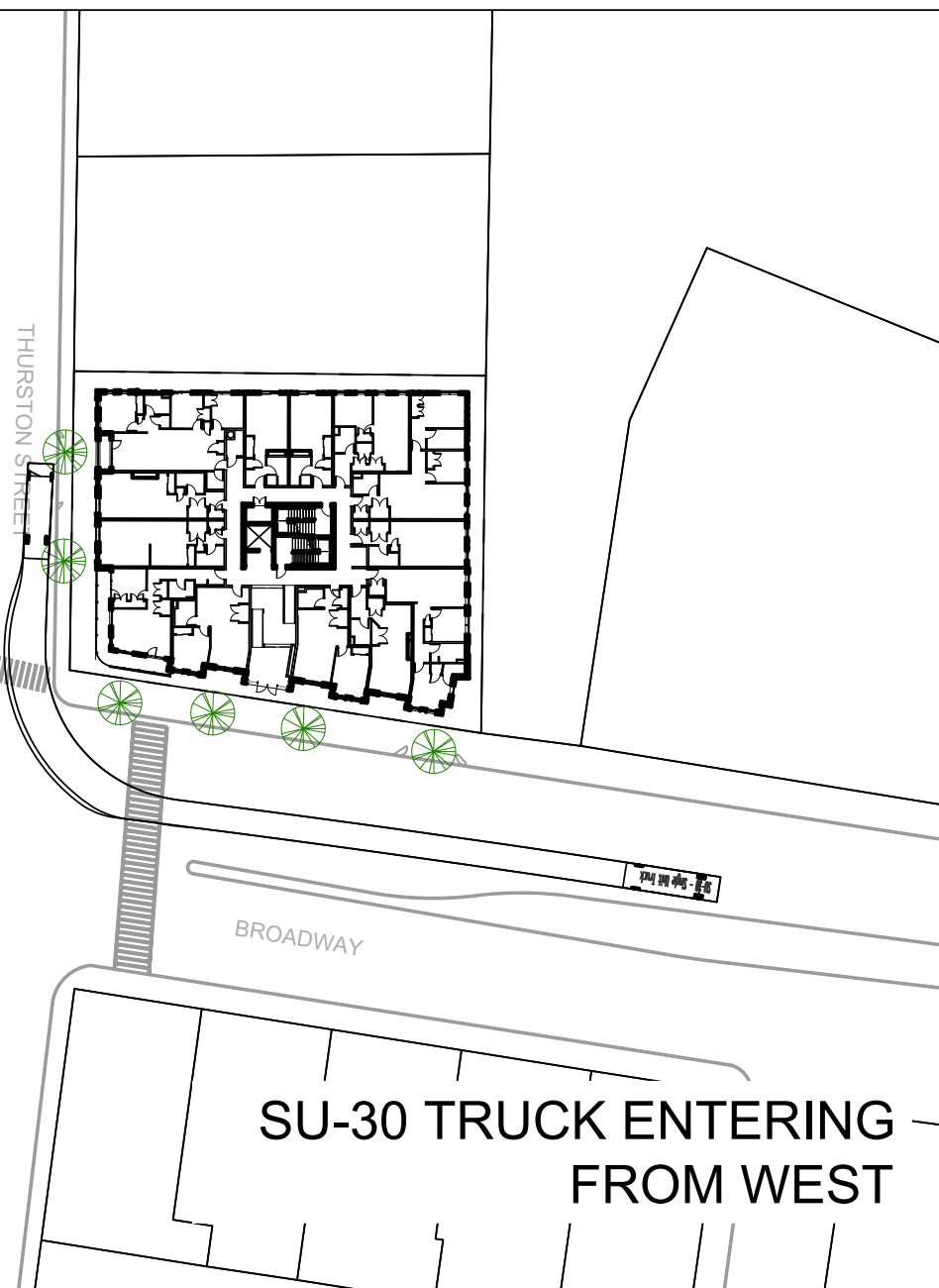


SU-30 - Single Unit Truck
Overall Length 30.000ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.367ft
Track Width 8.000ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 31.80°

NOTES
1. FIRST FLOOR PLAN DEVELOPED BY KHALSA
DESIGN AND PROVIDED TO GM2 ON 09/23/22.



FOR CITY OF SOMERVILLE USE



0 30 60 Feet



CLIENT:
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100 CONIFER HILL ROAD, SUITE 103
DANVERS, MA 01923

366 BROADWAY
SOMERVILLE, MA

MOTOR VEHICLE
MOVEMENT PLAN

Figure C-105

DR BY: GS
CHK BY: DG
GM2 PROJ NO: 40834.00
DATE: SEP 2022
SCALE: 1" = 60'

PROJECT TEAM

SITE NAME/ADDRESS

SHEET NAME

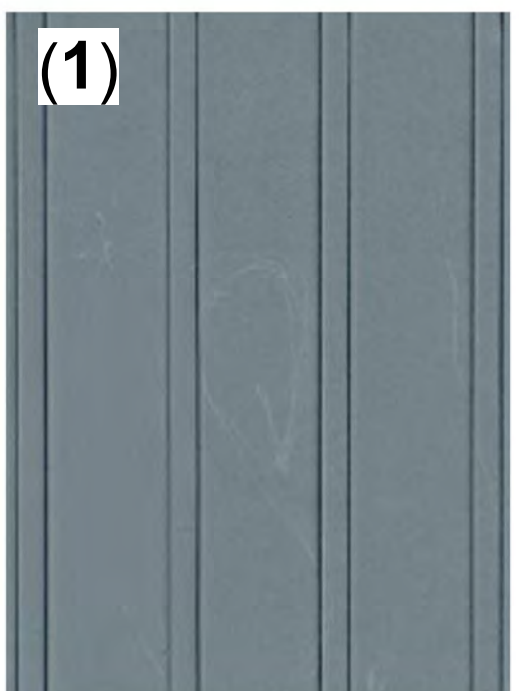
SHEET #

58 RESIDENTIAL UNITS
LEED GOLD CERTIFIABLE
PASSIVE HOUSE READY
±49,900 G.S.F.

4 STORIES OF TYPE 5A (2,3,4,R) OVER
1 STORY TYPE 1A CONSTRUCTION
(1ST + BASEMENT)

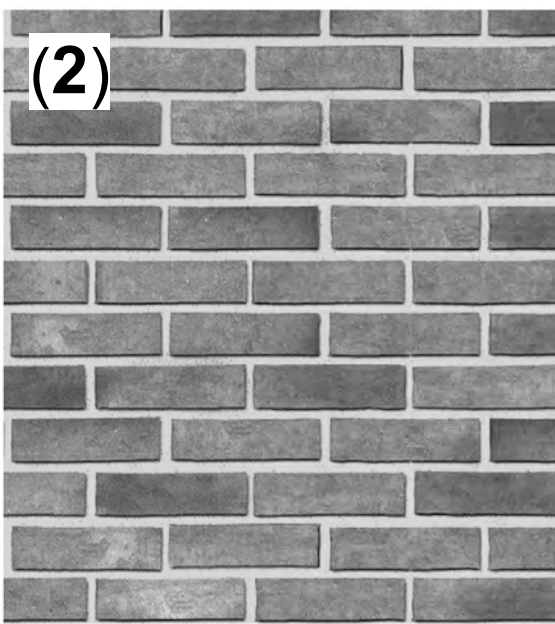
1 ELEVATOR
CENTRAL CORE STAIR
LAYOUT: CORRIDOR WALLS REQUIRE
SAME FIRE RATING AS STAIR

(1)



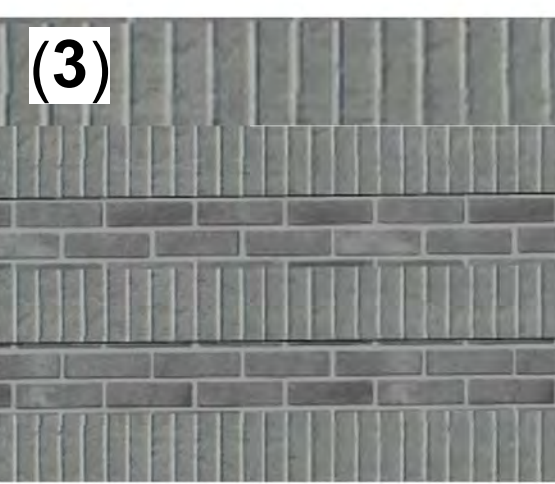
STANDING SEAM METAL SIDING

(2)




BRICK - GREY

(3)



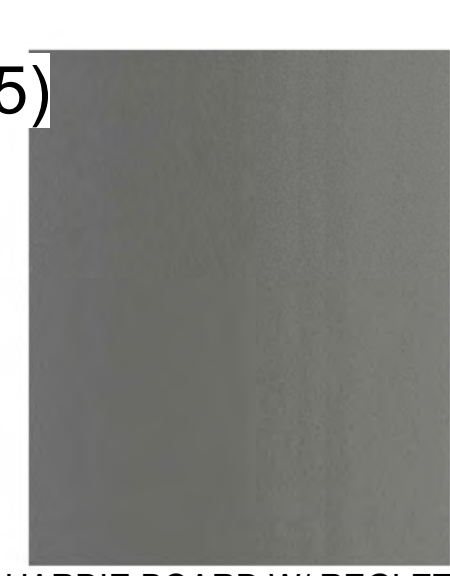
PATTERNED BRICK - GREY

(5)



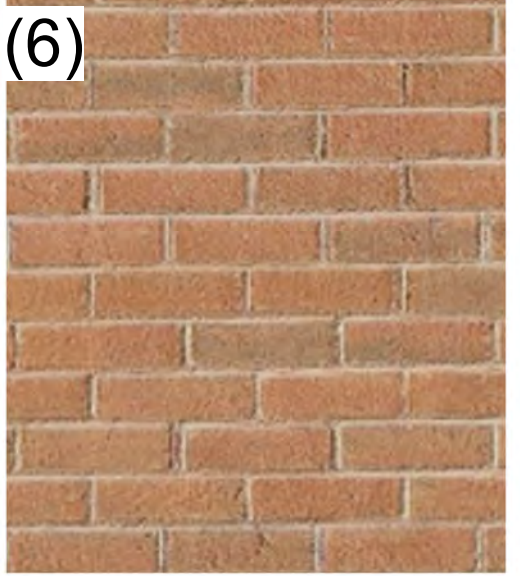
CAST STONE WATER TABLE

(5)




HARDIE BOARD W/ REGLETS

(6)



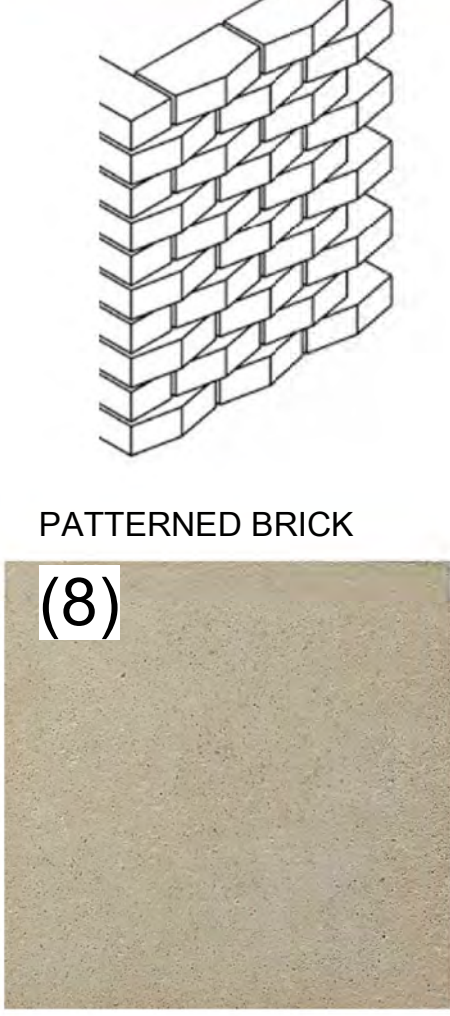
BRICK - RED

(7)

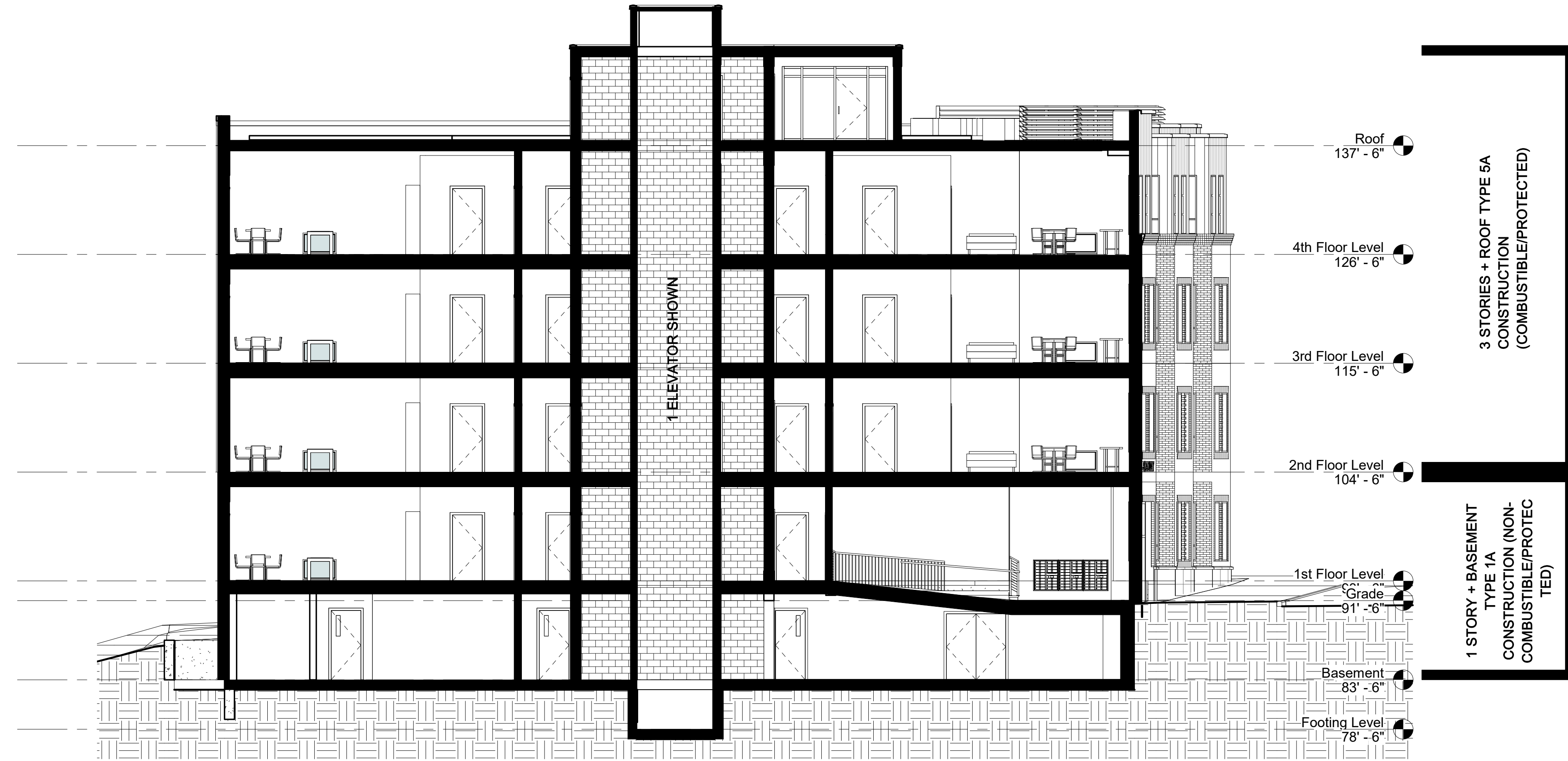


PATTERNED BRICK

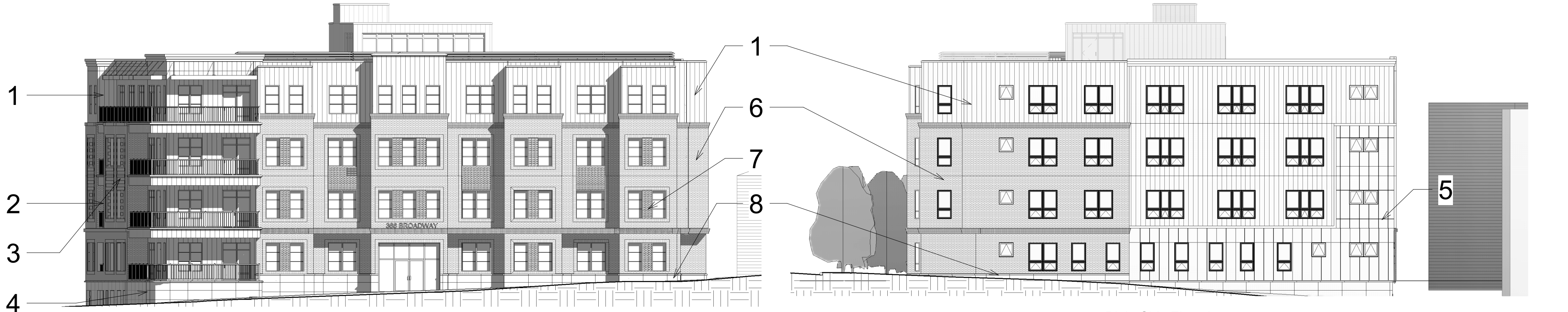
(8)



CAST STONE WATER TABLE



① Diagrammatic Section
1/8" = 1'-0"



② Broadway Elevation
1/16" = 1'-0"

⑤ Right Side Elevation
1/16" = 1'-0"



③ Thurston Elevation
1/16" = 1'-0"



④ Left Side Elevation
1/16" = 1'-0"

PROJECT NAME

366 Broadway
Residences


PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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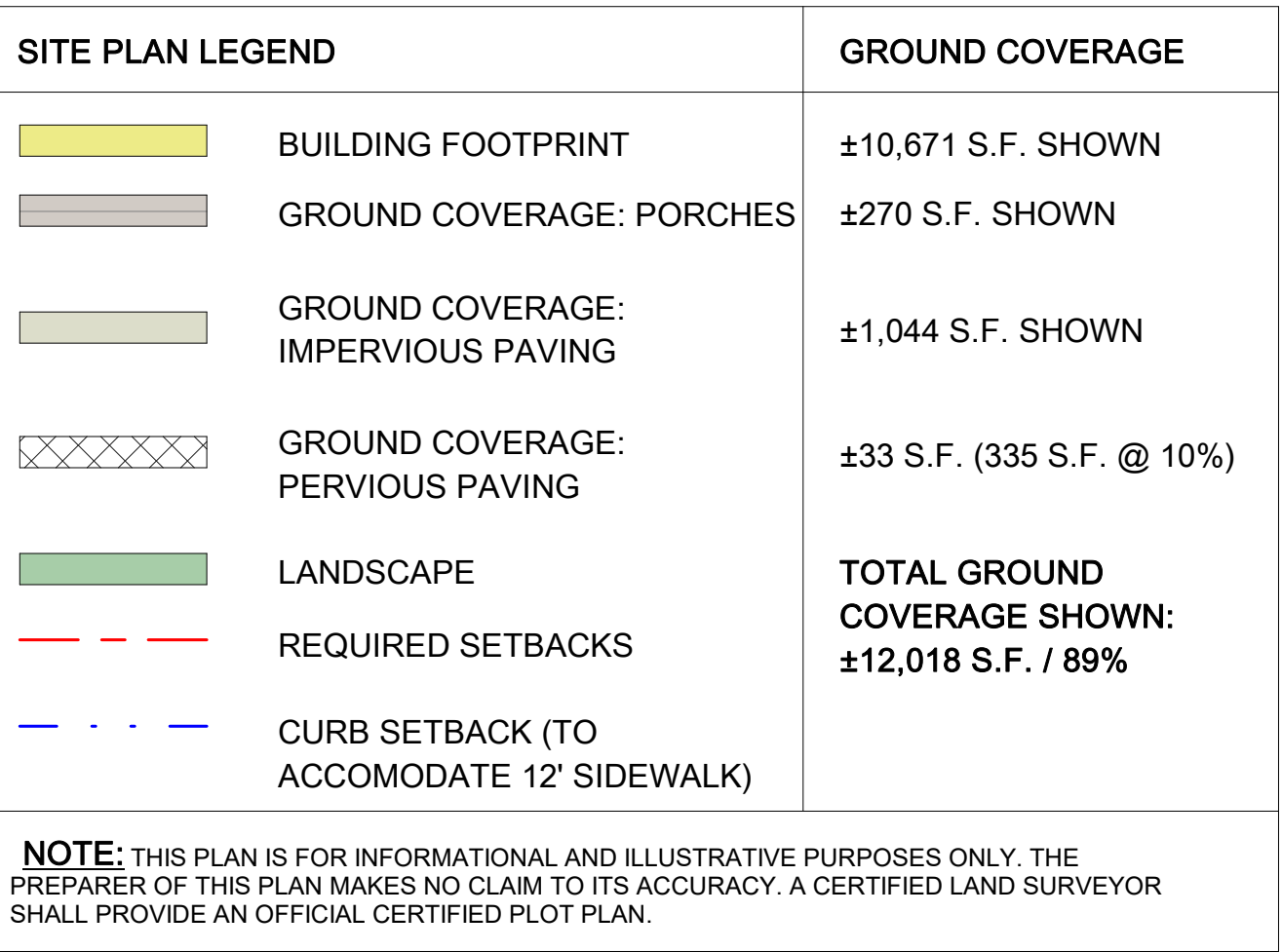
No.	Description	Date

Diagrammatic
Section & Bldg
Metrics

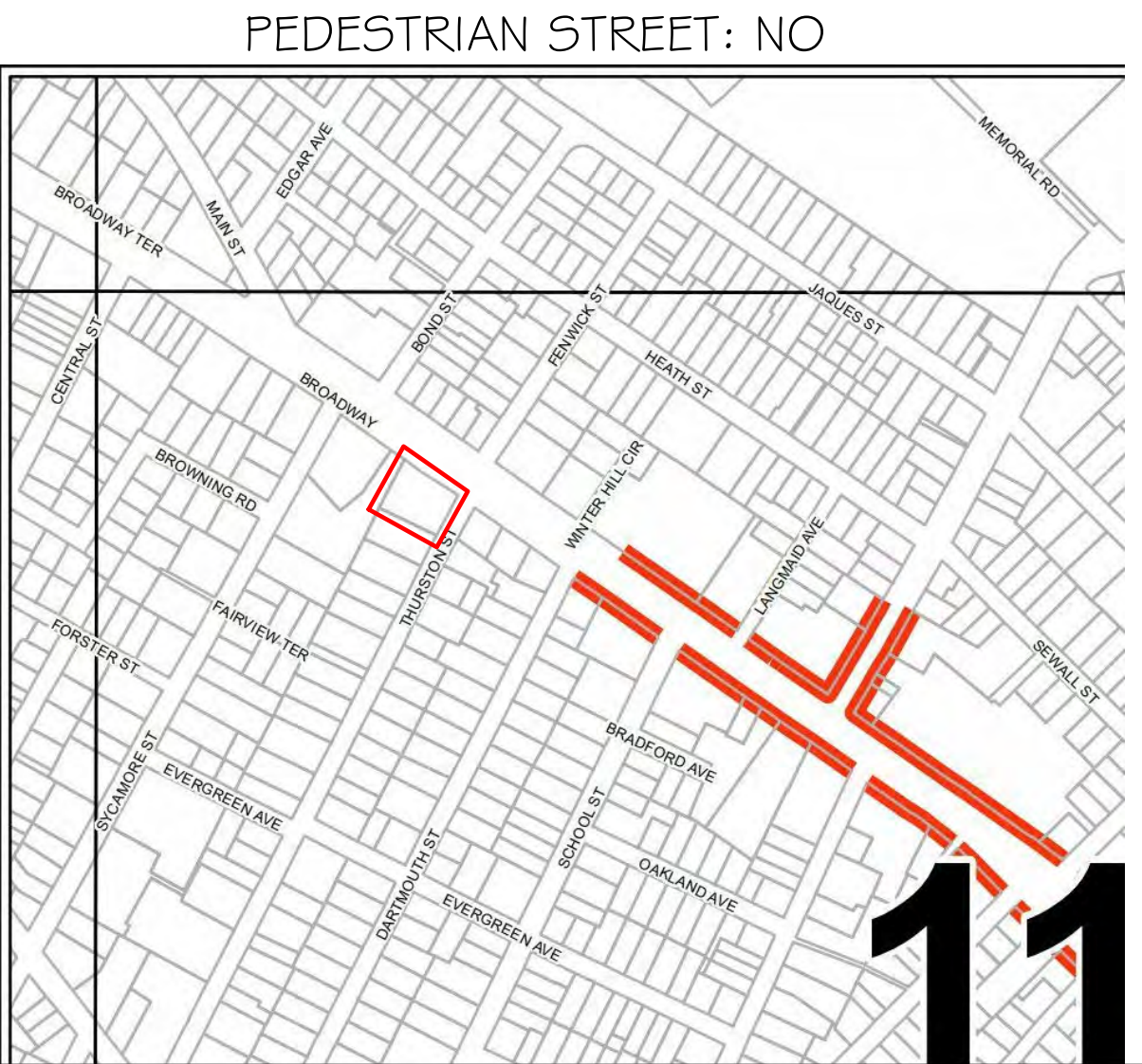
A-010

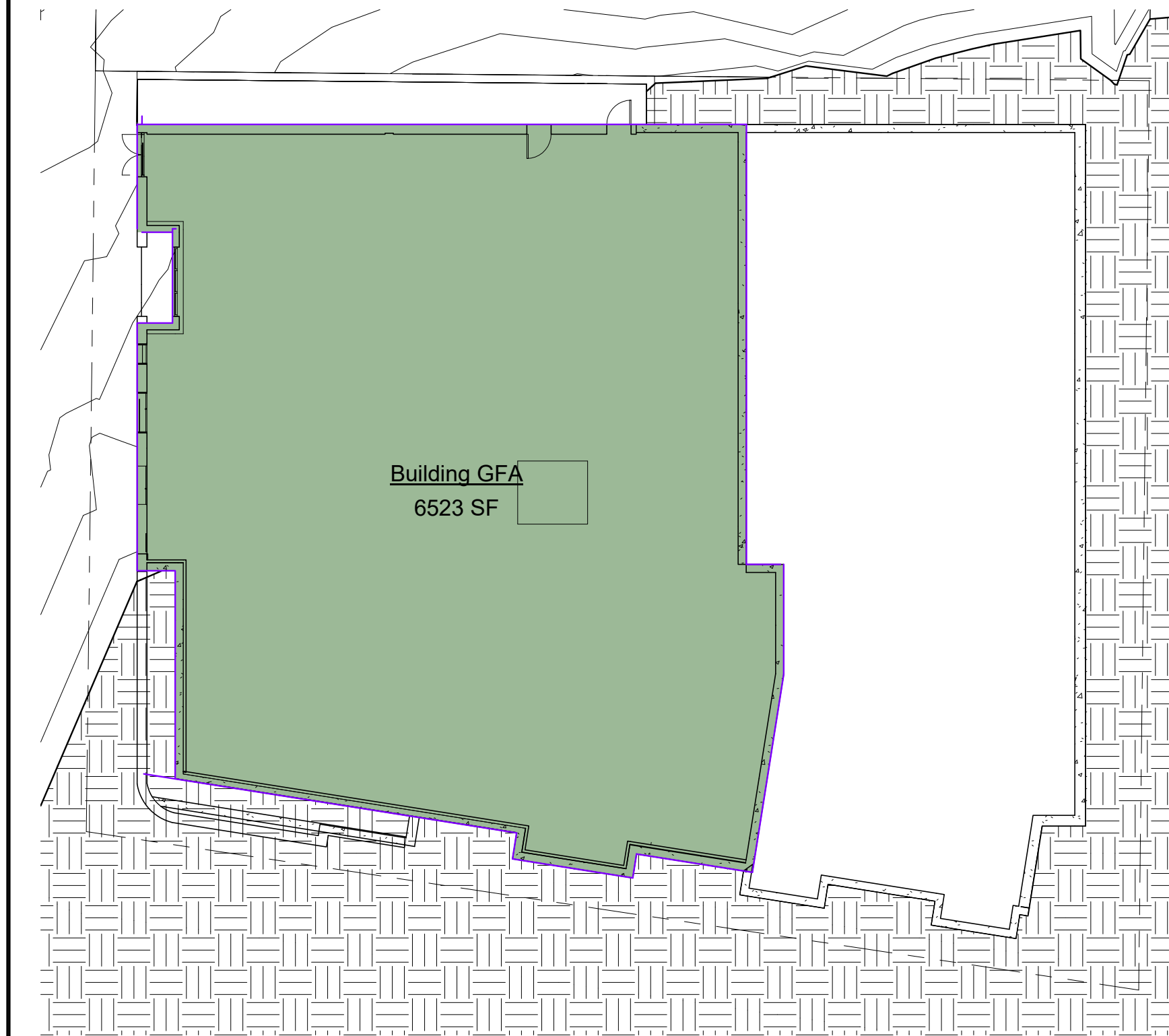
366 Broadway Residences

ZONING DIMENSIONAL TABLE-PROPOSED ZONING:			
	ALLOWED / REQUIRED	PROPOSED	COMMENTS
ZONE	MR-4 ZONE		
BUILDING TYPE *	APARTMENT BUILDING		SPECIAL PERMIT REQUIRED
LOT SIZE	±13,495 S.F.		
LOT DIMENSIONS			
WIDTH (MIN.)	30'	131'	COMPLIES
LOT DEVELOPMENT			
LOT COVERAGE (MAX)	90 %	89% SHOWN	COMPLIES
GREEN SCORE	0.25 MIN 0.30 IDEAL	REQUIRED FROM REGISTERED LANDSCAPE ARCHITECT	COMPLIANCE VIA LANDSCAPE
OPEN SPACE	15%	COMPLIANCE VIA GREEN ROOF	COMPLIANCE VIA LANDSCAPE
BUILDING SETBACKS			
CURB SETBACK	12 FT	12' ON BROADWAY 12' ON THURSTON	COMPLIES
PRIMARY FRONT (MIN/ MAX.) BROADWAY	2 FT / 12 FT	76" FROM PROPERTY LINE 5'2" FROM SIDEWALK SETBACK	COMPLIES
SECONDARY FRONT (MIN/ MAX.) THURSTON ST	2 FT / 12 FT	5'2" FROM PROPERTY LINE 0' FROM SIDEWALK SETBACK	COMPLIES
SIDE (LEFT SIDE @ THURSTON ST)	0 FT MIN	5'	COMPLIES
SIDE (RIGHT SIDE @ BROADWAY)	0 FT MIN	6.5'	COMPLIES
REAR (MIN)	N/A (CORNER LOT)	N/A (CORNER LOT)	N/A (CORNER LOT)
MAIN MASSING			
FACADE BUILD OUT (PRIMARY-BROADWAY)	80% MIN	115.4/131=88%	COMPLIES
FACADE BUILD OUT (SECONDARY-THURSTON)	65% MIN	84.7/94=90%	COMPLIES
FLOOR PLATE (MAX) **	15,000 S.F.	10,483 S.F.	COMPLIES
GROUND FLOOR ELEVATION	2' (ABOVE AVERAGE GRADE)	2' ABOVE GRADE @ BROADWAY	COMPLIES
MIN UPPER STORY HEIGHT	10'	10'	COMPLIES
BUILDING HEIGHT, STORIES (MIN/MAX)	3 STORIES MIN 4 STORIES MAX	4 STORIES	COMPLIES
ROOF TYPE	FLAT	FLAT	COMPLIES
BUILDING HEIGHT	50'	50'	COMPLIES
USE & OCCUPANCY ***			
BASE DENSITY: 1,125 S.F. GFA / DU	44 DU ALLOWED	N/A	
NET ZERO READY DENSITY: 850 S.F. GFA / DU	58 DU ALLOWED	58 UNITS	COMPLIES
OUTDOOR AMENITY SPACE (MIN.)	1/DU (COMMON ALLOWED IF OVER 7 DU)	COMMON ROOF DECK	COMPLIES
PARKING (RESIDENTIAL)			
MIN SHORT TERM BICYCLE PARKING	.1 PER DU	COMPLIANCE VIA STREETSCAPE PLAN	COMPLIES
MIN LONG TERM BICYCLE PARKING	1 PER DU	58 SPACES (1/ DU)	
MAXIMUM PARKING (WITHIN TRANSIT AREA)	1/ DU	NONE SHOWN	



366 Broadway Residences





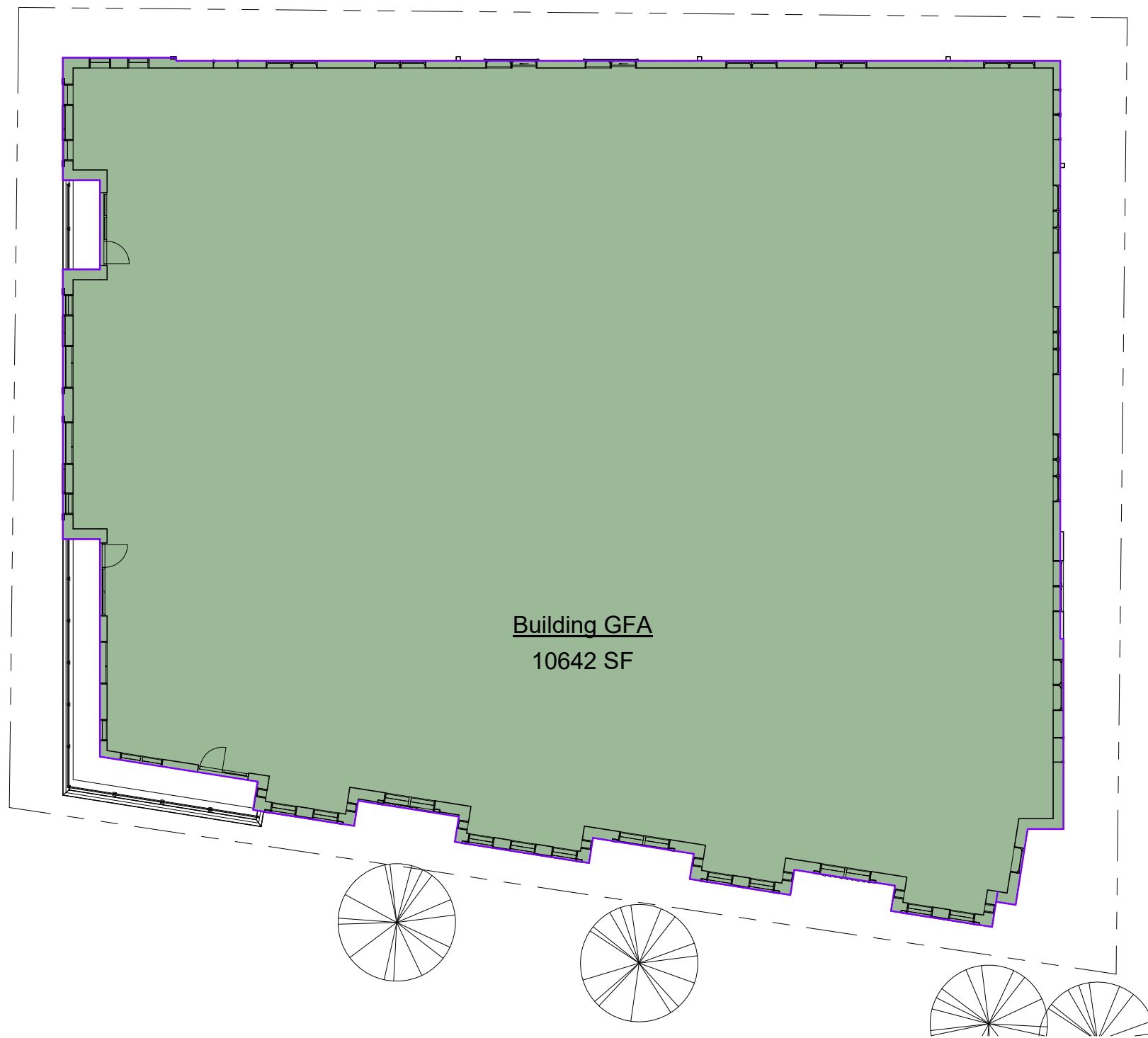
1 Basement
1/16" = 1'-0"



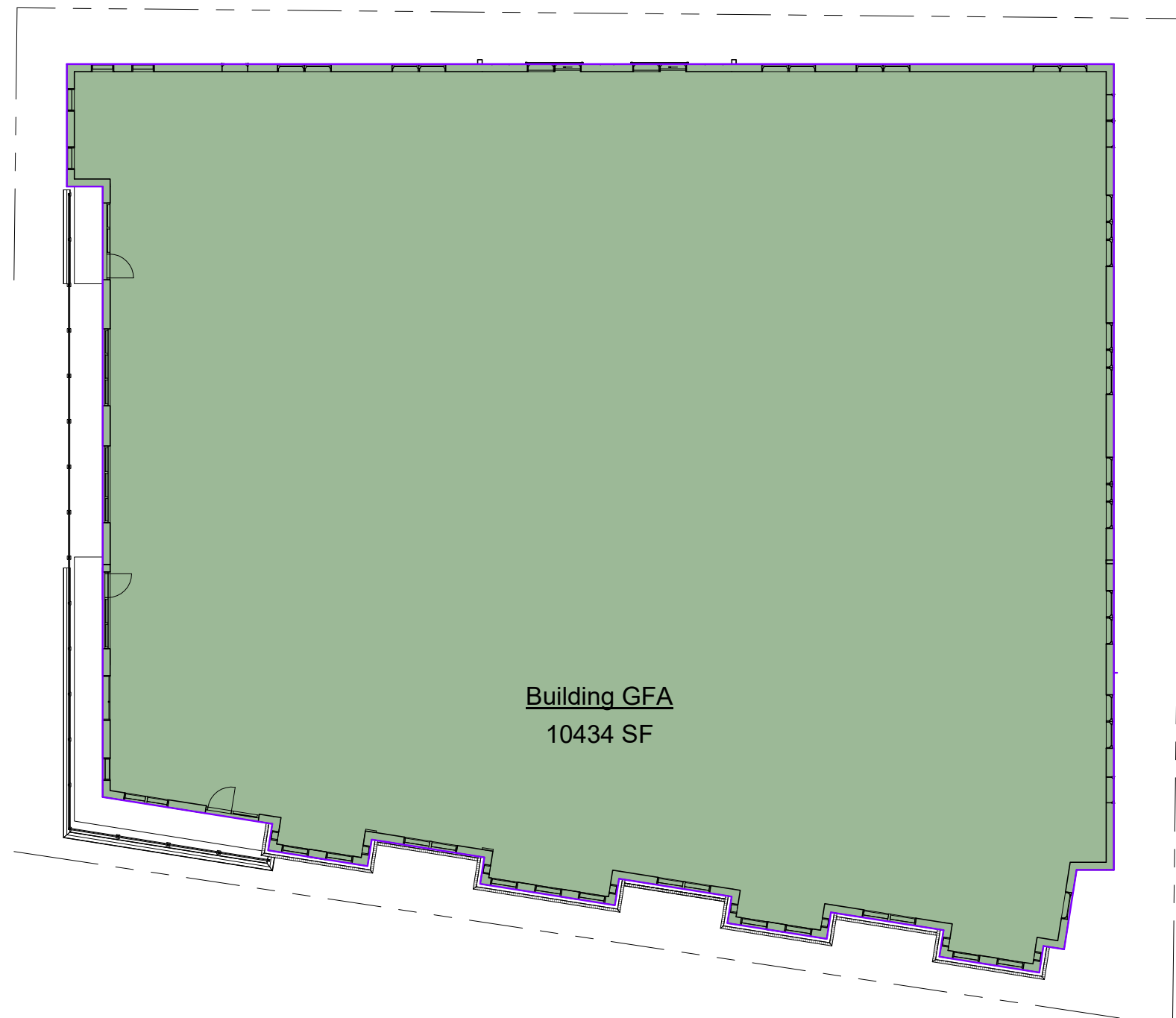
2 1st Floor Level
1/16" = 1'-0"



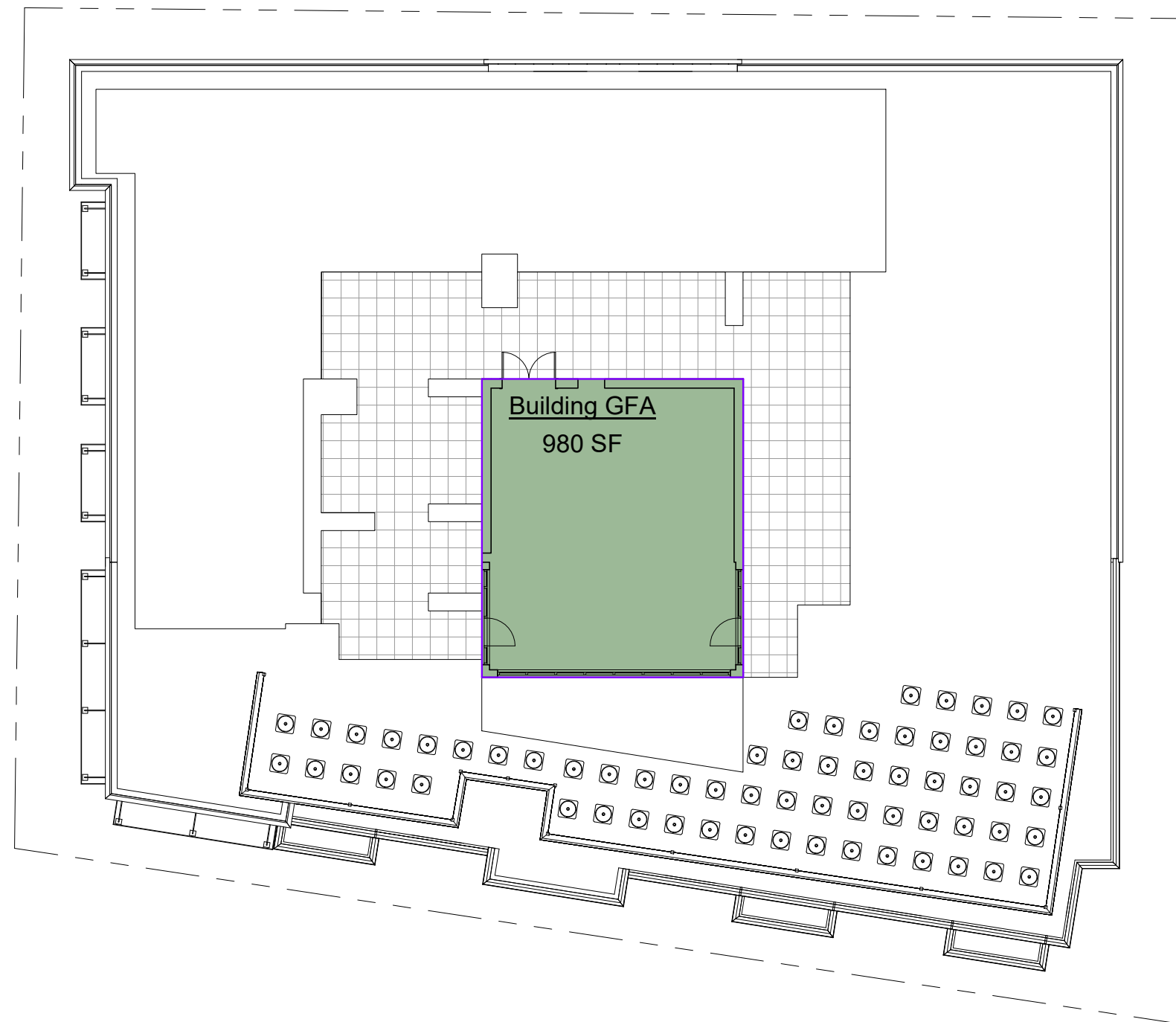
3 2nd Floor Level
1/16" = 1'-0"



4 3rd Floor Level
1/16" = 1'-0"



5 4th Floor Level
1/16" = 1'-0"



6 Roof
1/16" = 1'-0"

Gross Building Area		
Name	Area	Level
Building GFA	10676 SF	1st Floor Level
Building GFA	10646 SF	2nd Floor Level
Building GFA	10642 SF	3rd Floor Level
Building GFA	10434 SF	4th Floor Level
Building GFA	6523 SF	Basement
Building GFA	980 SF	Roof

49900 SF
49900 SF

BUILDING DENSITY: 49,900
NET ZERO READY (/850 S.F. PER DU) = 58 UNITS

PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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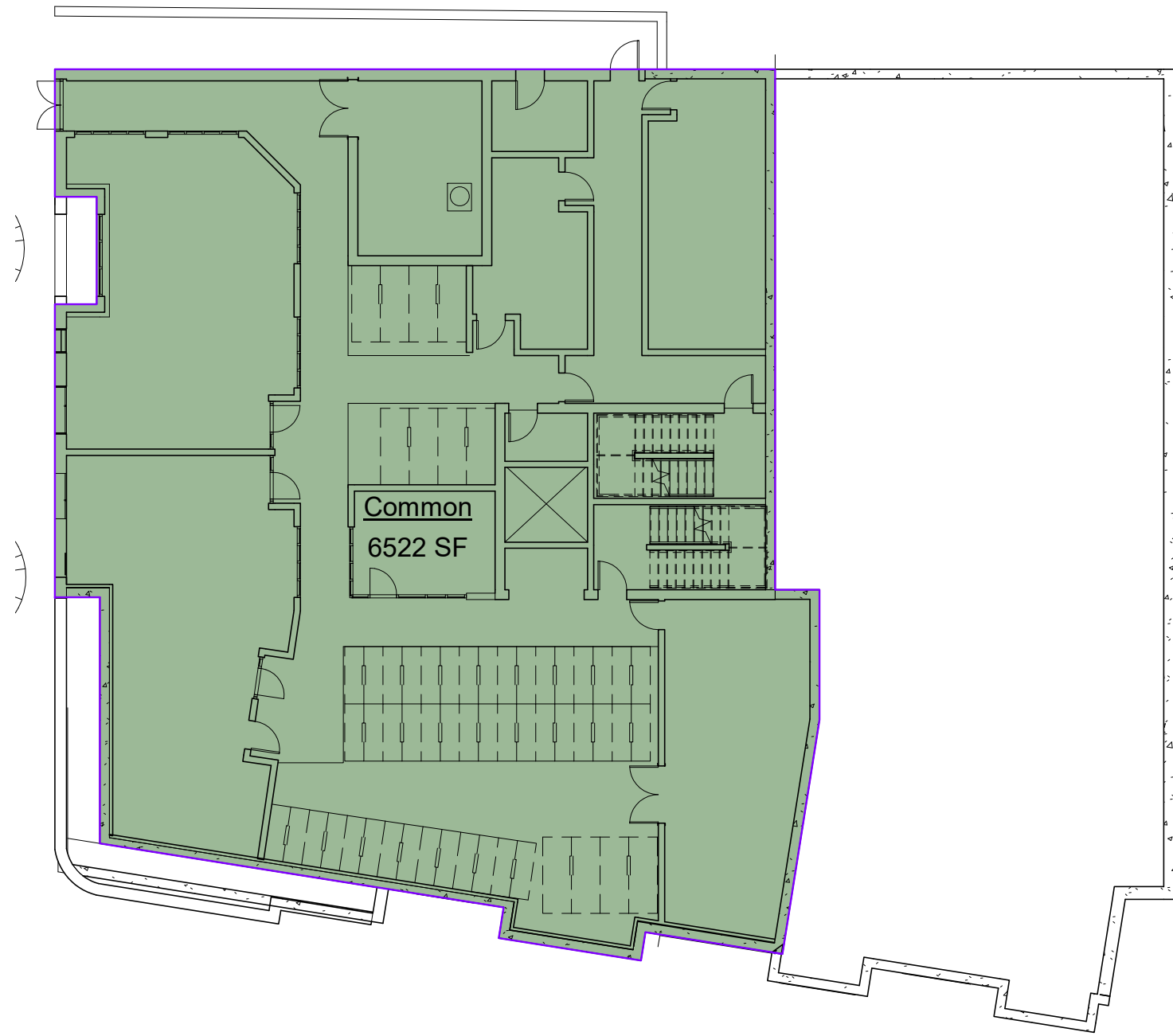
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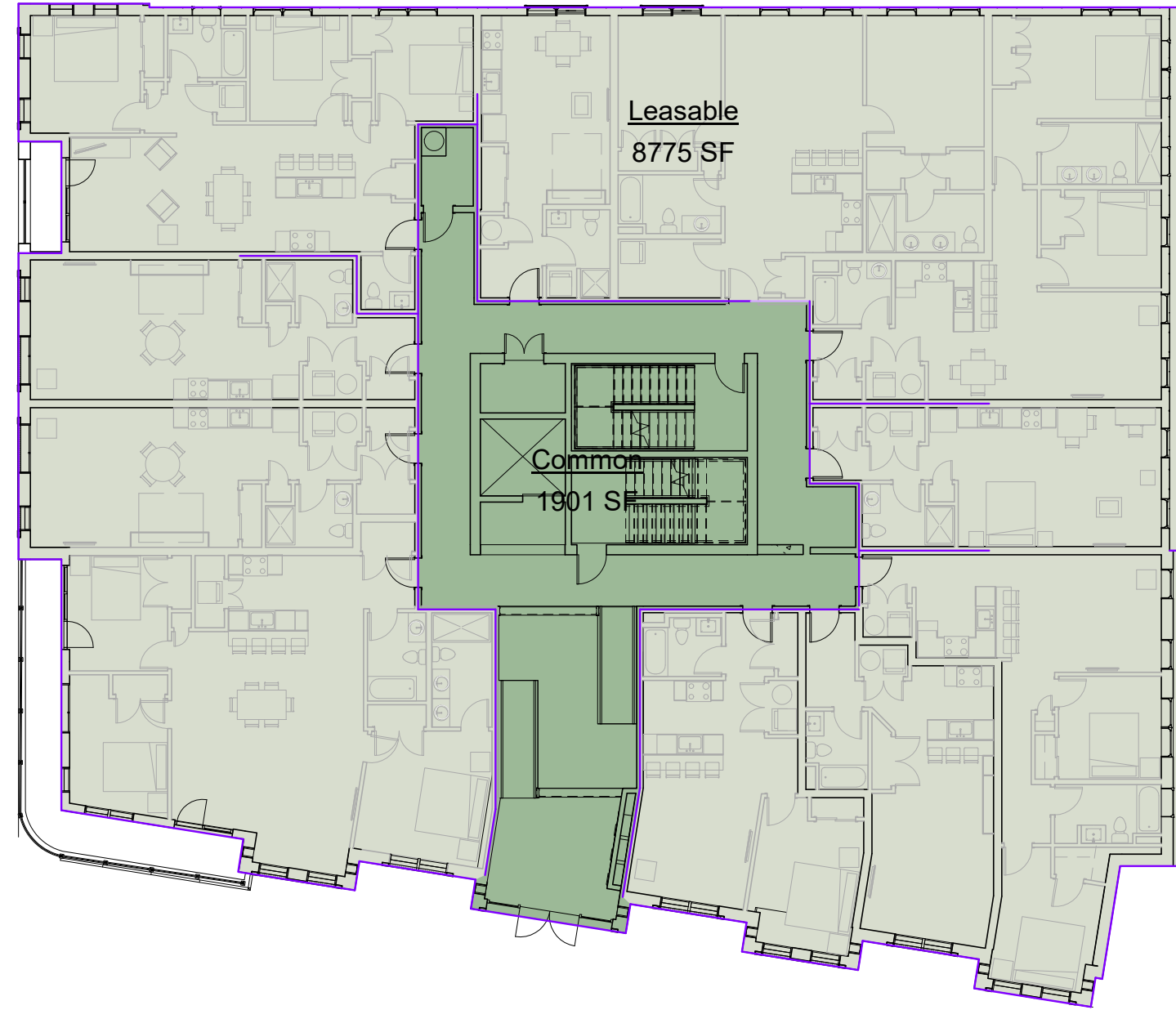
Gross Floor Area

A-023

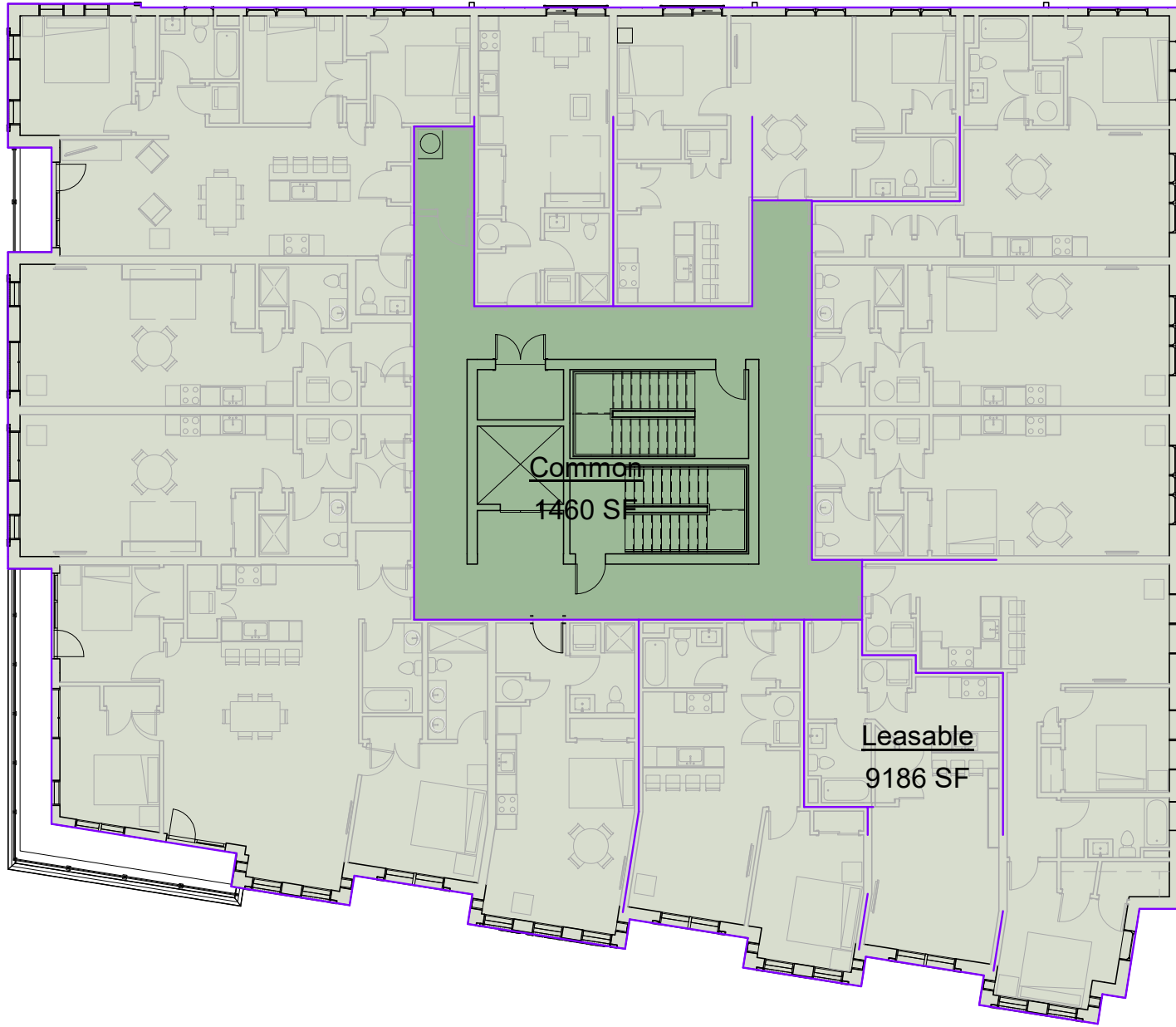
366 Broadway Residences



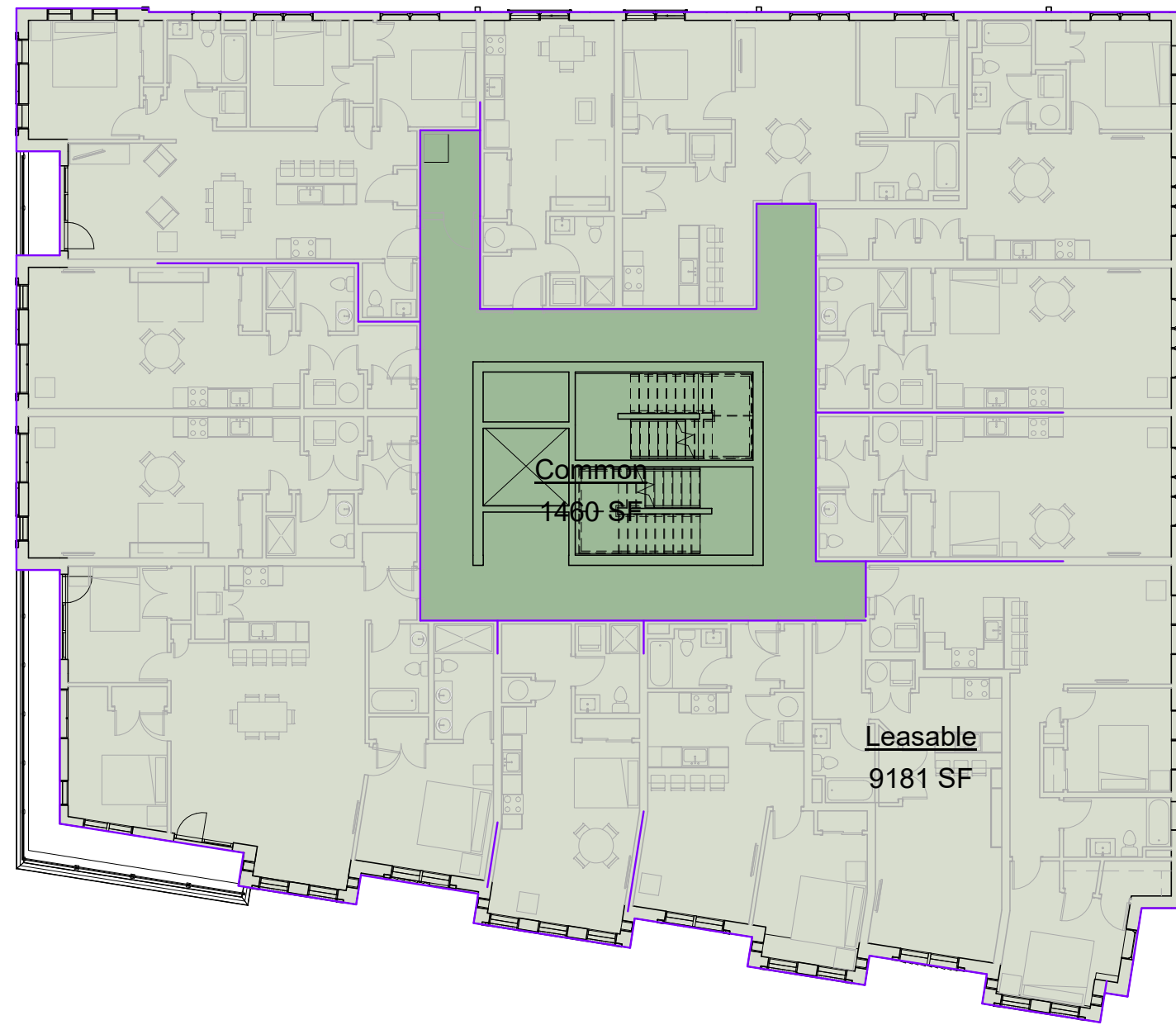
5 Basement
1/16" = 1'-0"



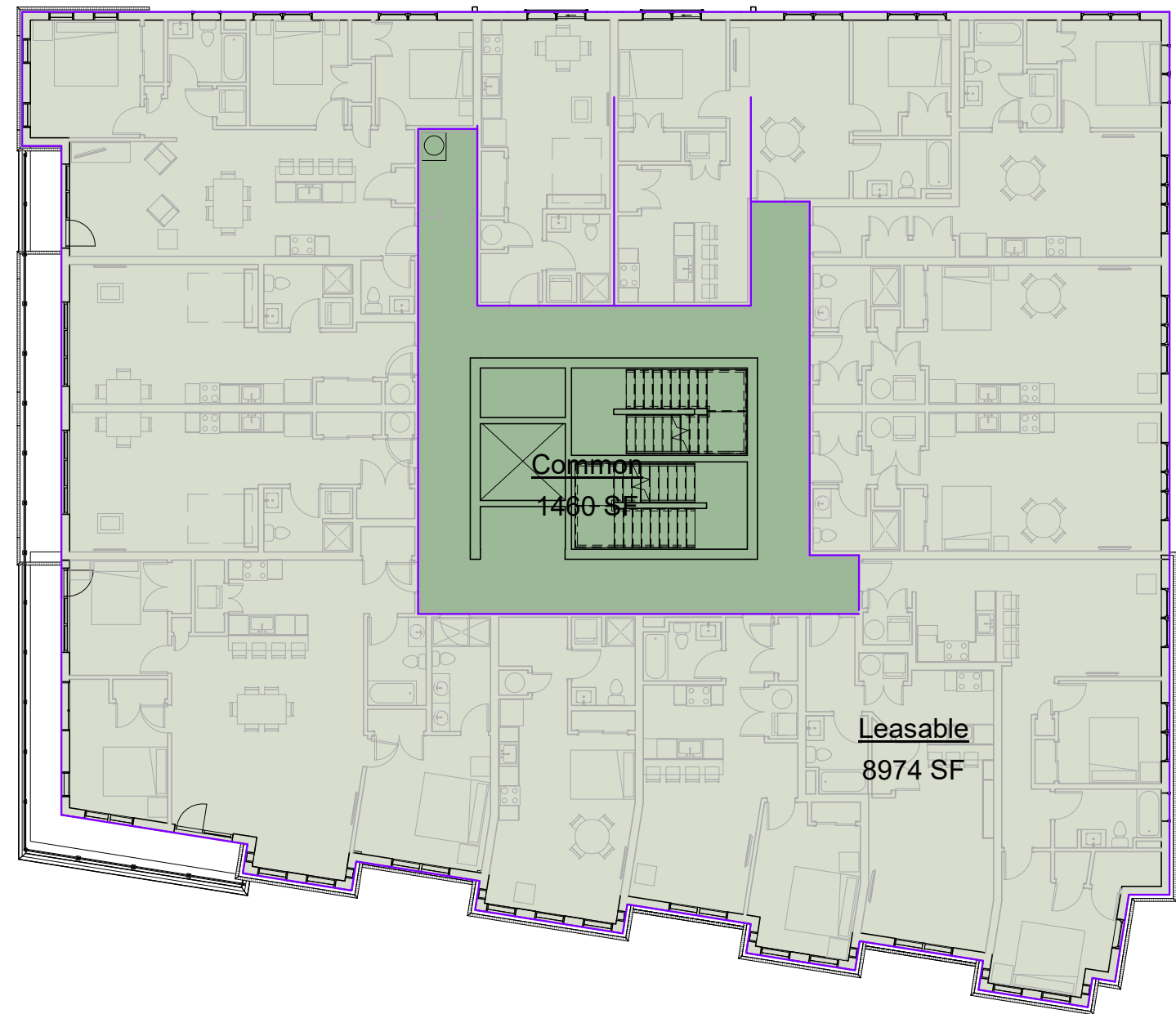
1 1st Floor Level
1/16" = 1'-0"



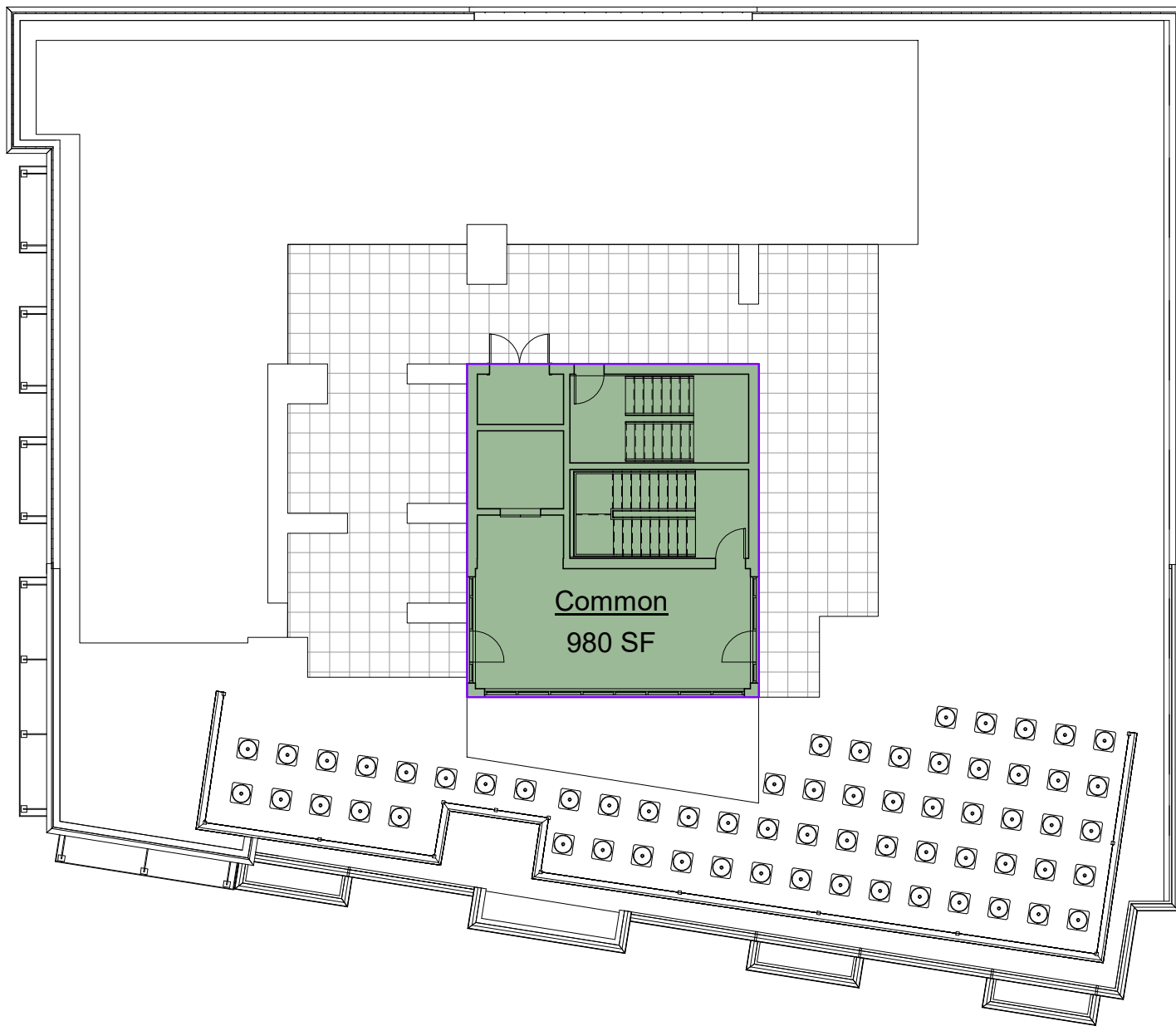
2 2nd Floor Level
1/16" = 1'-0"



3 3rd Floor Level
1/16" = 1'-0"



4 4th Floor Level
1/16" = 1'-0"



6 Roof
1/16" = 1'-0"

Leasable Floor Area	
Area	Level

Common	
6522 SF	Basement
1901 SF	1st Floor Level
1460 SF	2nd Floor Level
1460 SF	3rd Floor Level
1460 SF	4th Floor Level
980 SF	Roof

Leasable	
8775 SF	1st Floor Level
9186 SF	2nd Floor Level
9181 SF	3rd Floor Level
8974 SF	4th Floor Level
36116 SF	
49900 SF	

PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



KHALSA

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No.	Description	Date

Leasable Floor
Area

A-024

366 Broadway Residences



① Basement
1/8" = 1'-0"

PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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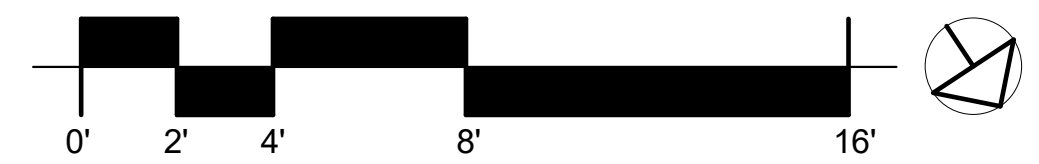
Basement Floor
Plan

A-100

366 Broadway Residences



UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	5	1	4	1	11	
2	7	2	2	2	13	
3	7	2	2	2	13	
4	7	2	2	2	13	
TOTAL	26 (52%)	7 (14%)	10 (20%)	7 (14%)	50	




PROJECT NAME
**366 Broadway
Residences**

PROJECT ADDRESS
366 Broadway
Somerville, MA

CLIENT
**366 Broadway
Somerville LLC**

ARCHITECT



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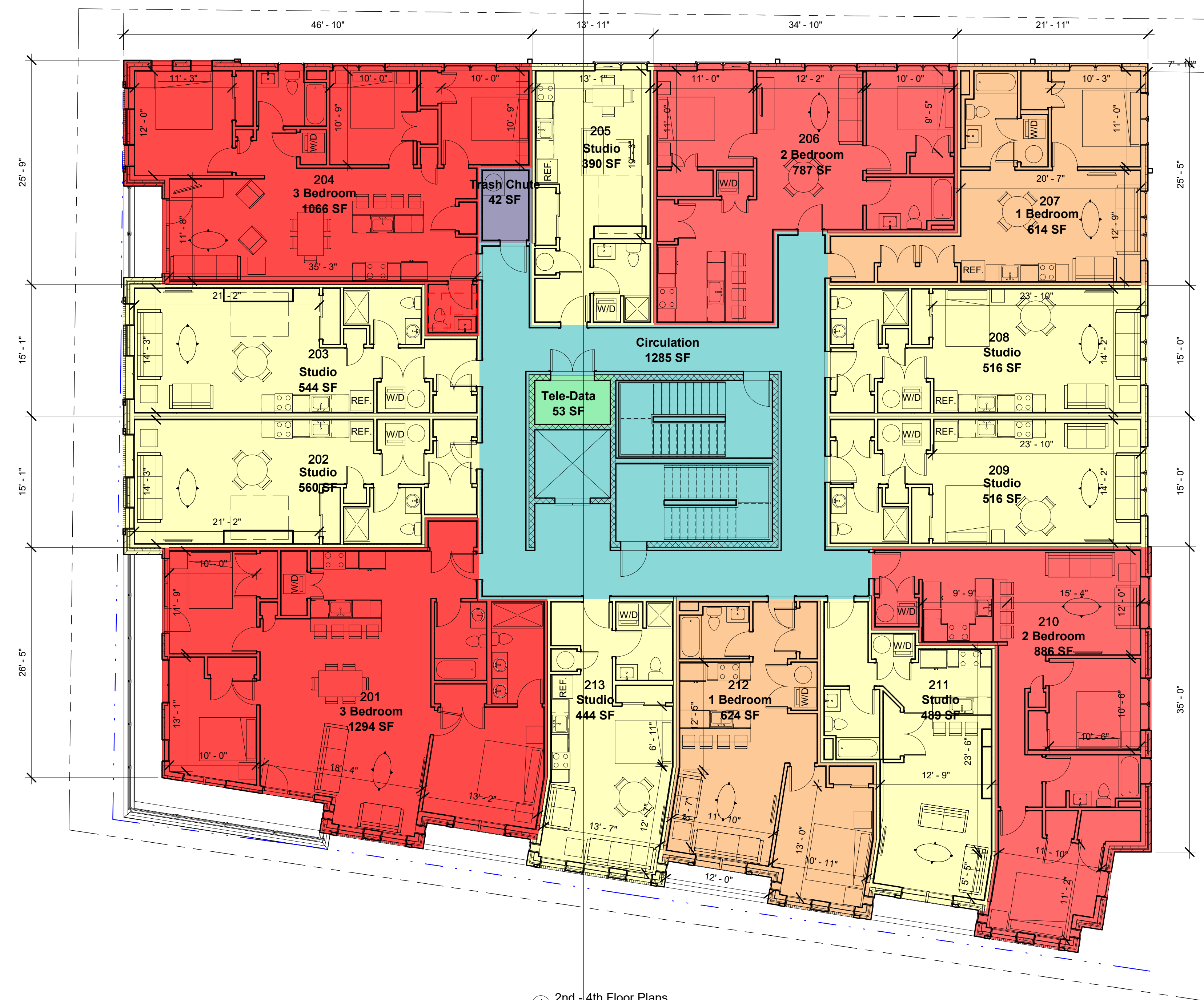
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No.	Description	Date

1st Floor Plan

A-101

366 Broadway Residences



UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	5	1	4	1	11	
2	7	2	2	2	13	
3	7	2	2	2	13	
4	7	2	2	2	13	
TOTAL	26 (52%)	7 (14%)	10 (20%)	7 (14%)	50	



PROJECT NAME

366 Broadway Residences

PROJECT ADDRESS
366 Broadw
Somerville, M

CLIENT

**366 Broadway
Somerville LLC**

ARCHITECT



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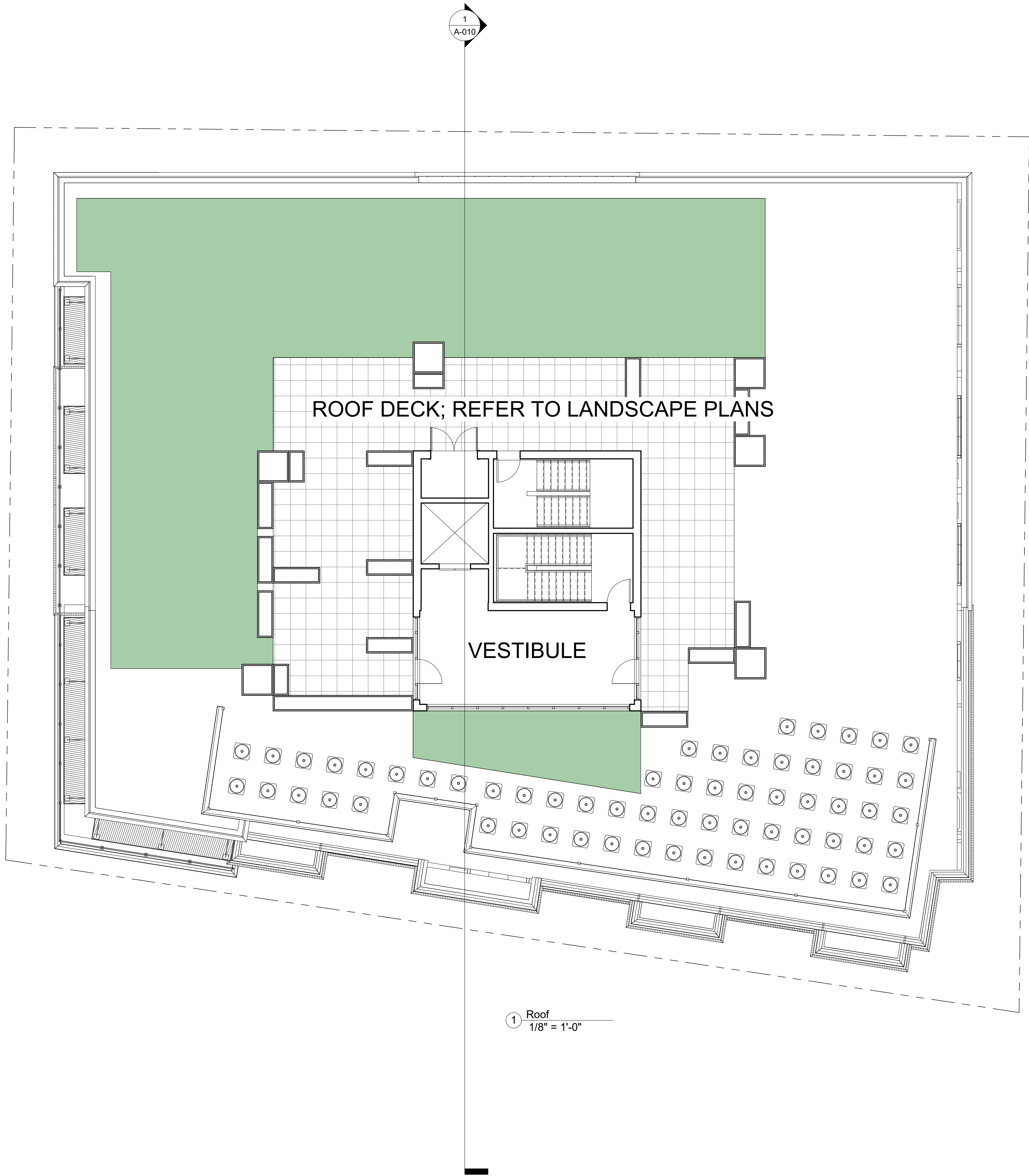
REVISIONS

[illegible]

2nd - 4th Floor Plans

A-102

366 Broadway Residences



1 Roof
1/8" = 1'-0"

UNIT BREAKDOWN BY FLOOR						
FLOOR	STUDIO	1 BEDROOM	2 BEDROOM	3 BEDROOM	TOTAL	COMMENTS
1	5	1	4	1	11	
2	7	2	2	2	13	
3	7	2	2	2	13	
4	7	2	2	2	13	
TOTAL	26 (52%)	7 (14%)	10 (20%)	7 (14%)	50	



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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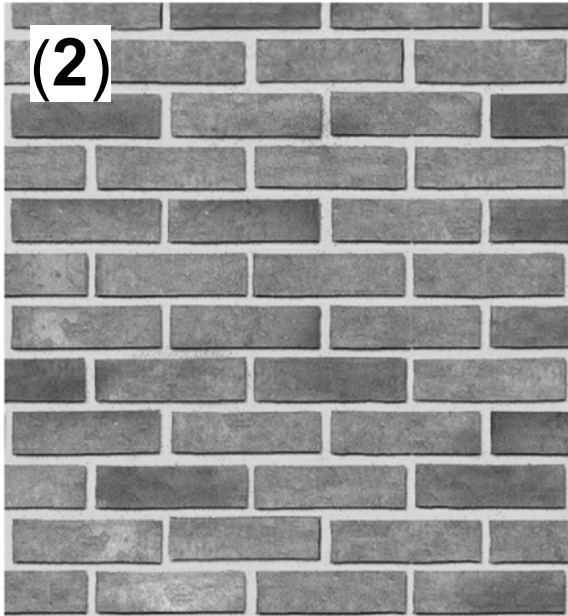
Roof Plan

A-103

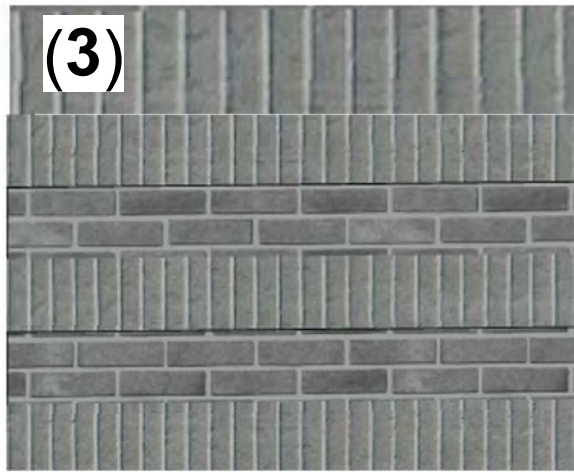
366 Broadway Residences



STANDING SEAM METAL SIDING



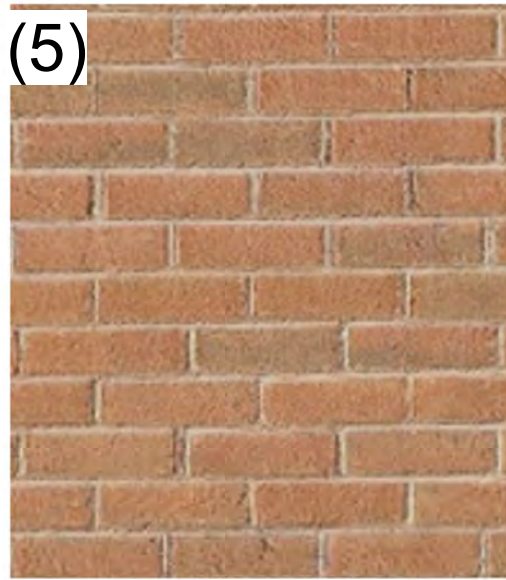
BRICK - GREY



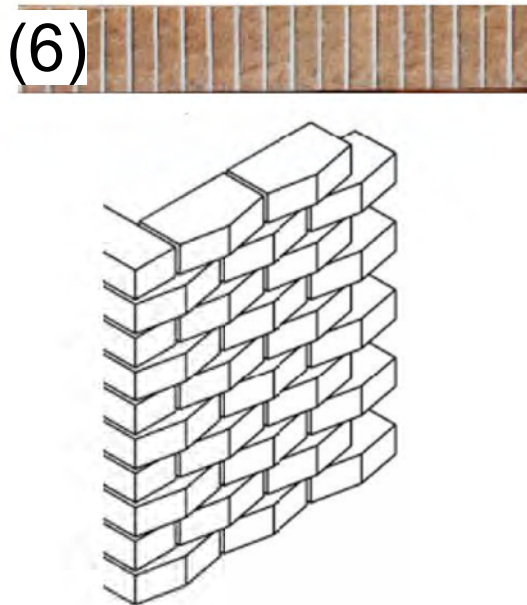
PATTERNED BRICK - GREY



CAST STONE WATER
TABLE



BRICK - RED



PATTERNED BRICK



CAST STONE WATER
TABLE



1 Primary Front (Broadway) Elevation
1/8" = 1'-0"

Roof
137' - 6"

4th Floor Level
126' - 6"

3rd Floor Level
115' - 6"

2nd Floor Level
104' - 6"

1st Floor Level
93' - 6"

Grade
91' - 6"

PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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Project number 21071
Date 07/26/2023
Drawn by ERS
Checked by JSK
Scale 1/8" = 1'-0"

REVISIONS

No.	Description	Date

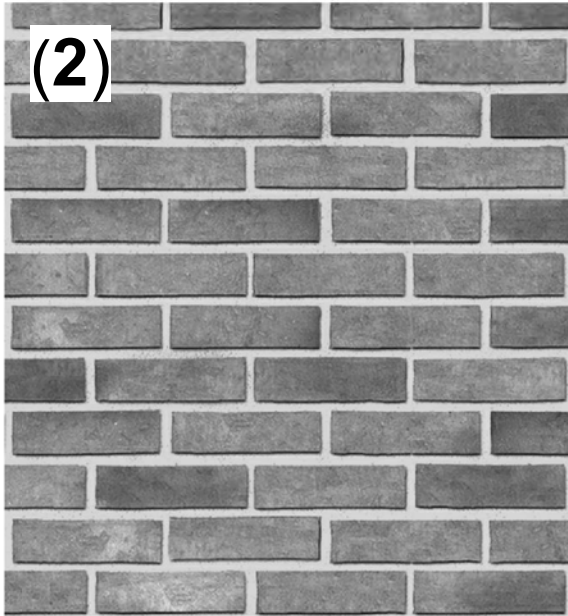
Primary Front
Elevation -
Broadway

A-301

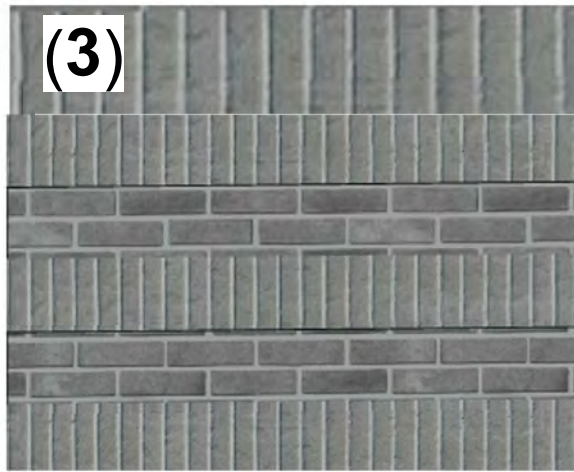
366 Broadway Residences



STANDING SEAM METAL SIDING



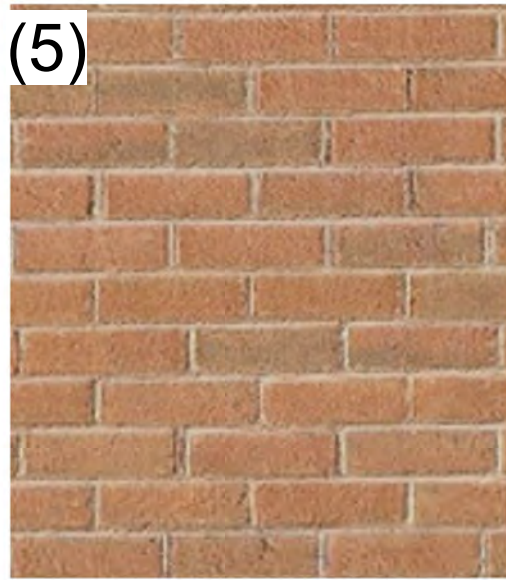
BRICK - GREY



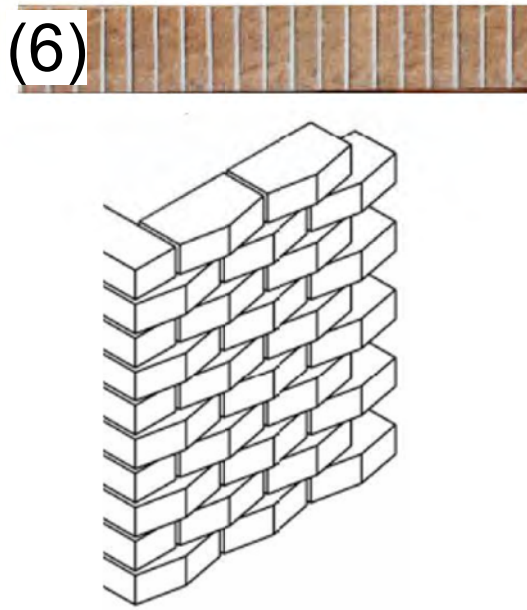
PATTERNED BRICK - GREY



CAST STONE WATER
TABLE



BRICK - RED



PATTERNED BRICK



CAST STONE WATER
TABLE



1 Secondary Front Elevation (Thurston)
1/8" = 1'-0"

PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	1/8" = 1'-0"

REVISIONS

No.	Description	Date

Secondary Front
Elevation-Thurston

A-302

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	1/8" = 1'-0"

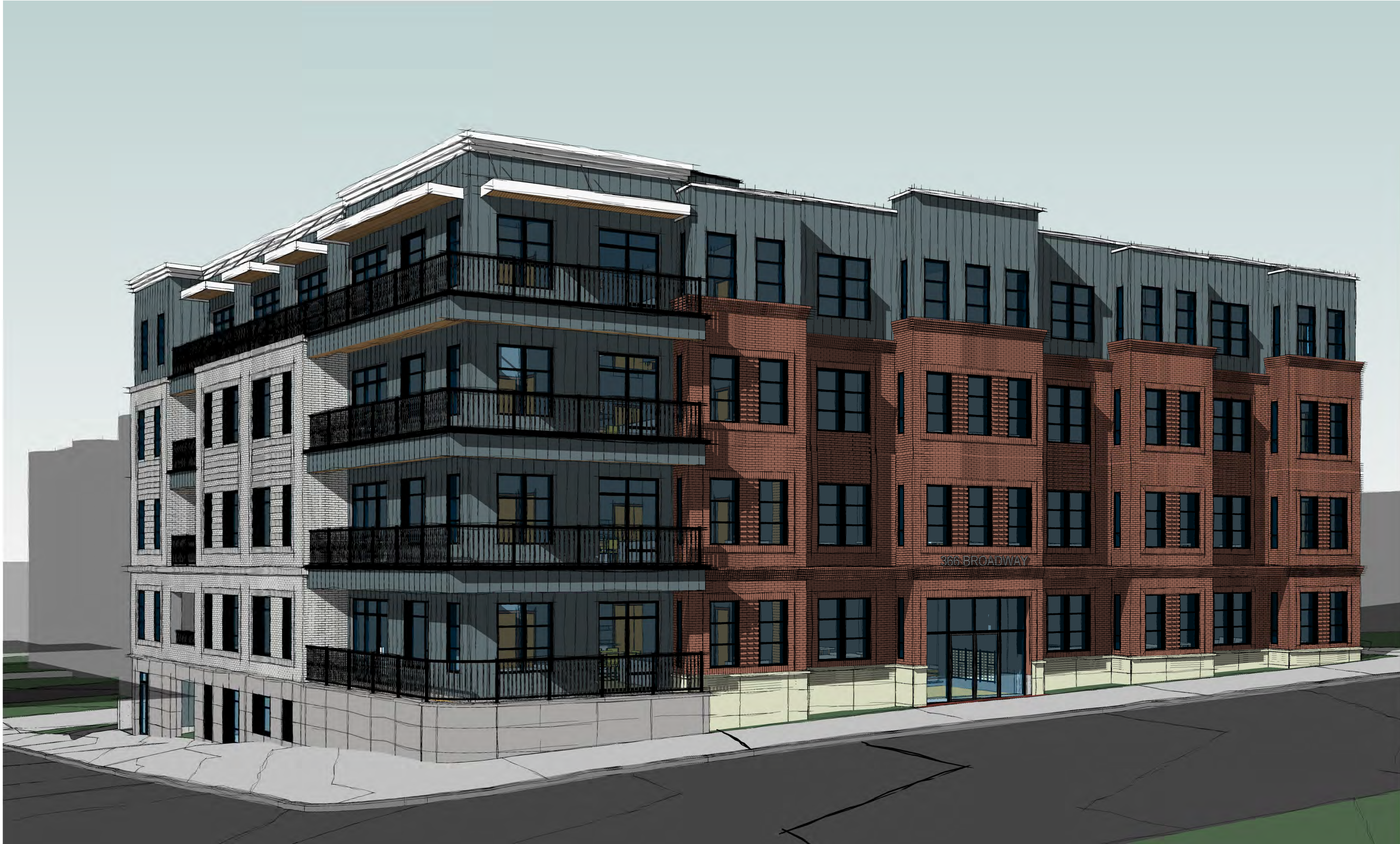
REVISIONS

No.	Description	Date

Side Elevations

A-303

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	

REVISIONS

No.	Description	Date

Perspective at
Broadway &
Thurston

AV-1

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Checked by	JSK
Scale	

REVISIONS

No.	Description	Date

Perspective at
Broadway

AV-2

366 Broadway Residences



PROJECT NAME
**366 Broadway
Residences**

PROJECT ADDRESS
366 Broadway
Somerville, MA

CLIENT
**366 Broadway
Somerville LLC**

ARCHITECT




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SOMERVILLE, MA 02143
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REVISIONS		
No.	Description	Date

Thurston Street
Perspective

AV-3

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	

REVISIONS

No.	Description	Date

Proposed
Rendering

AV-4

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	

REVISIONS

No.	Description	Date

Proposed
Rendering

AV-5

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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SOMERVILLE, MA 02143
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Scale	

REVISIONS

No.	Description	Date

Proposed Aerial

AV-6

366 Broadway Residences



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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Scale	

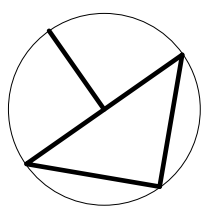
REVISIONS

No.	Description	Date

Proposed Aerial

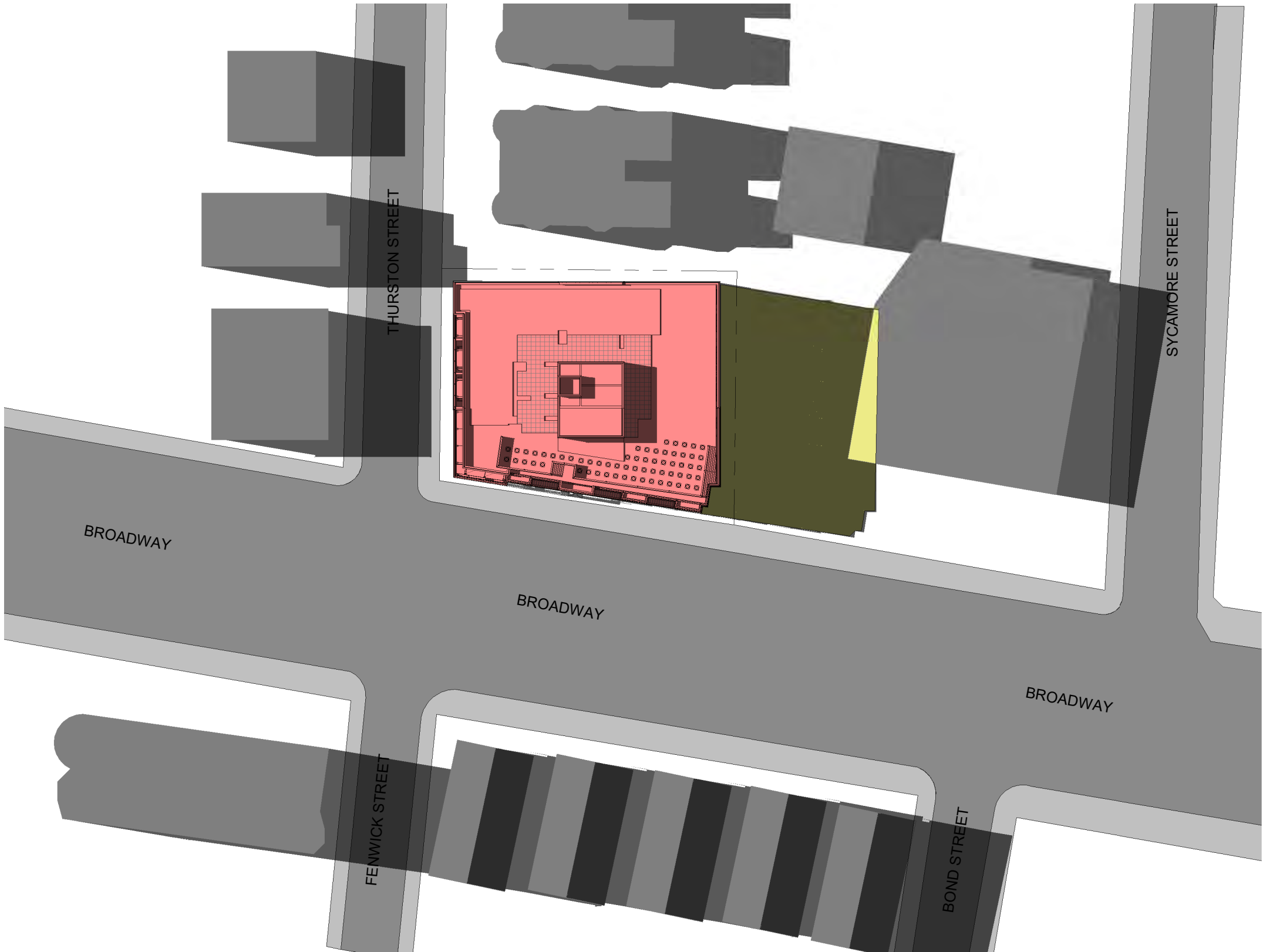
AV-7

366 Broadway Residences

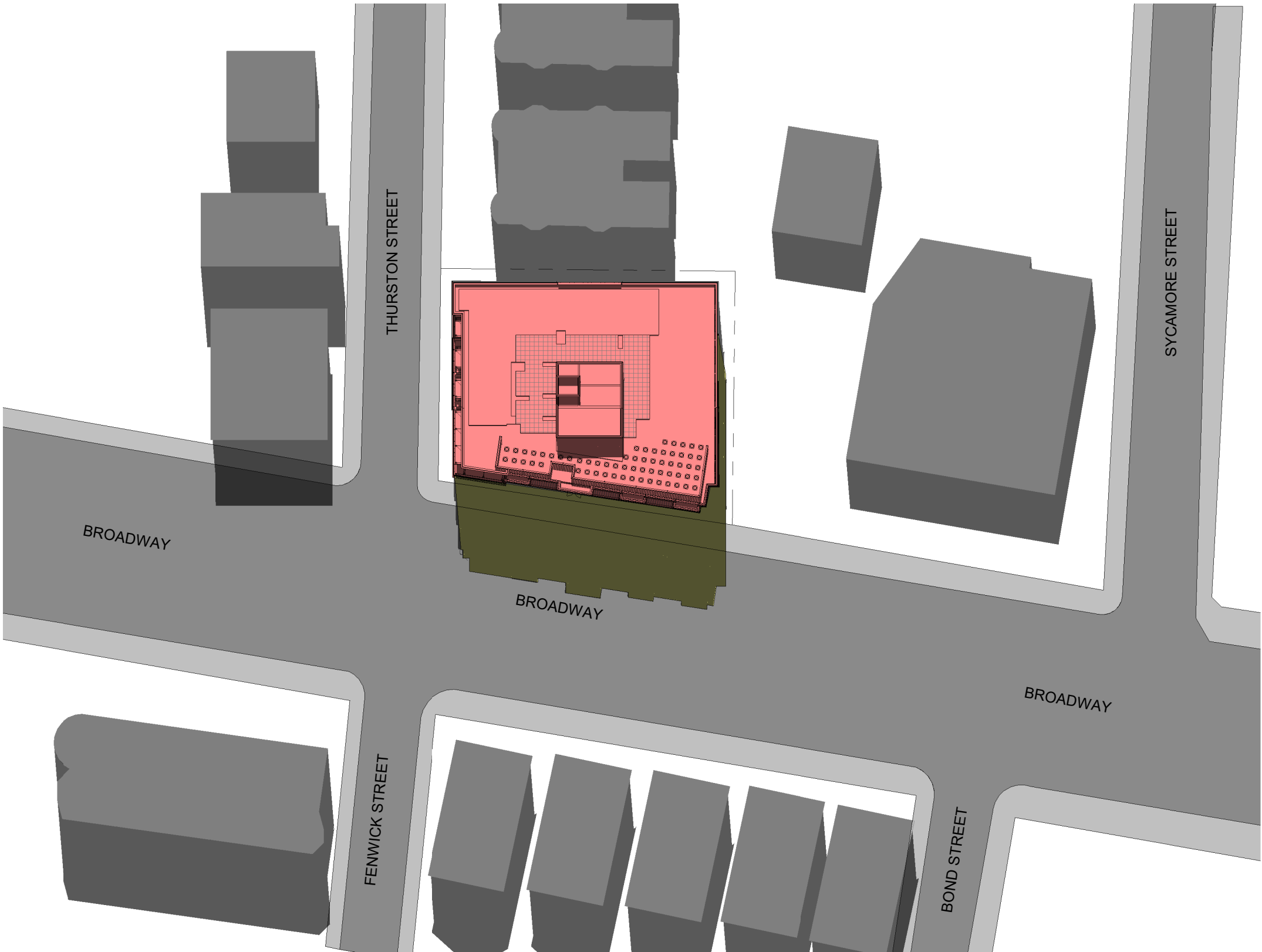


VERNAL EQUINOX (MARCH 21)

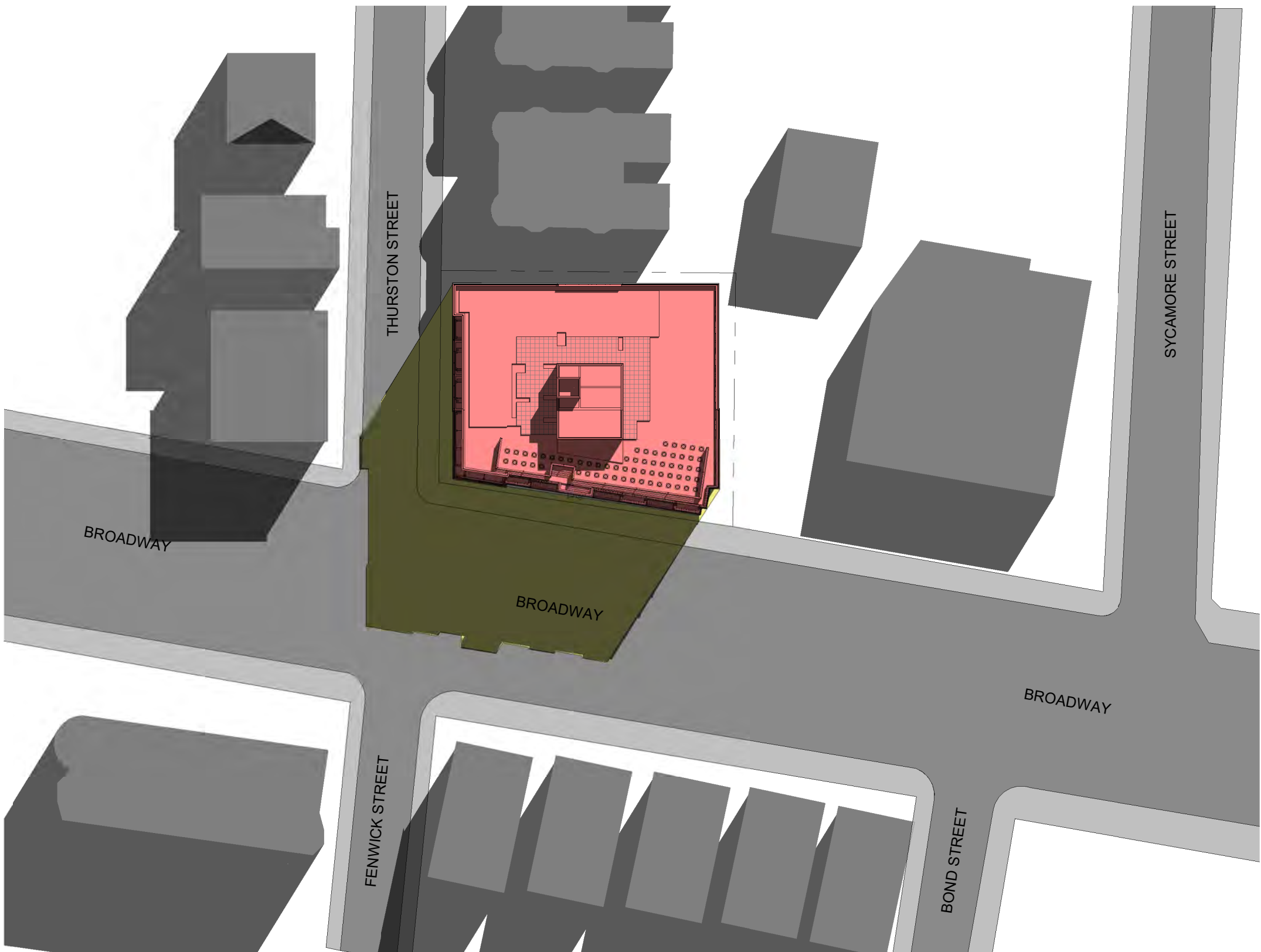
9 AM



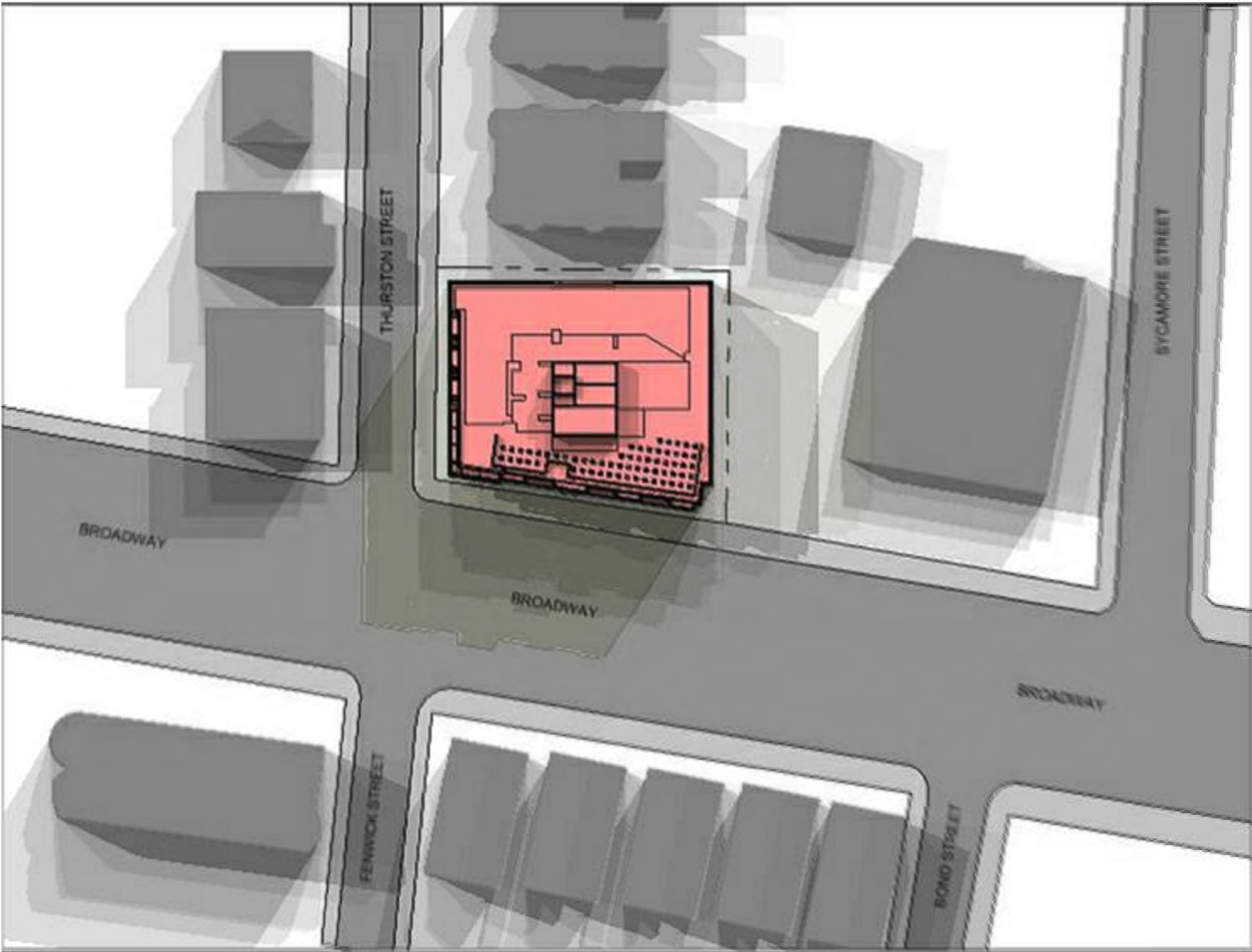
12 PM



3 PM



CUMULATIVE (HOURLY 9AM - 3PM)



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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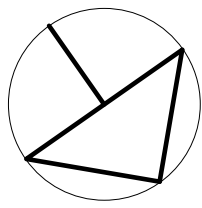
REVISIONS

No.	Description	Date

Shadow Study -
Vernal Equinox

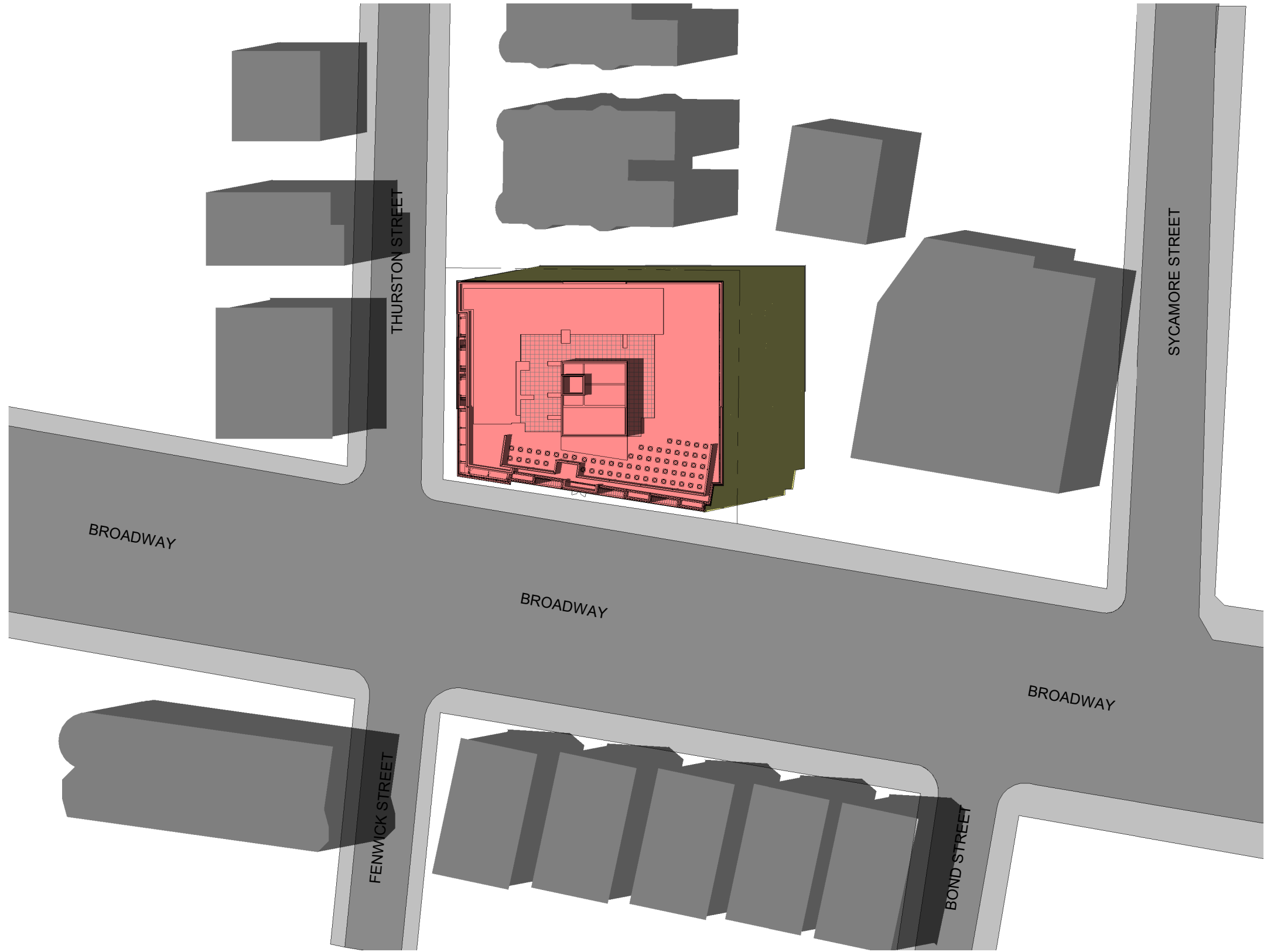
AV-8

366 Broadway Residences

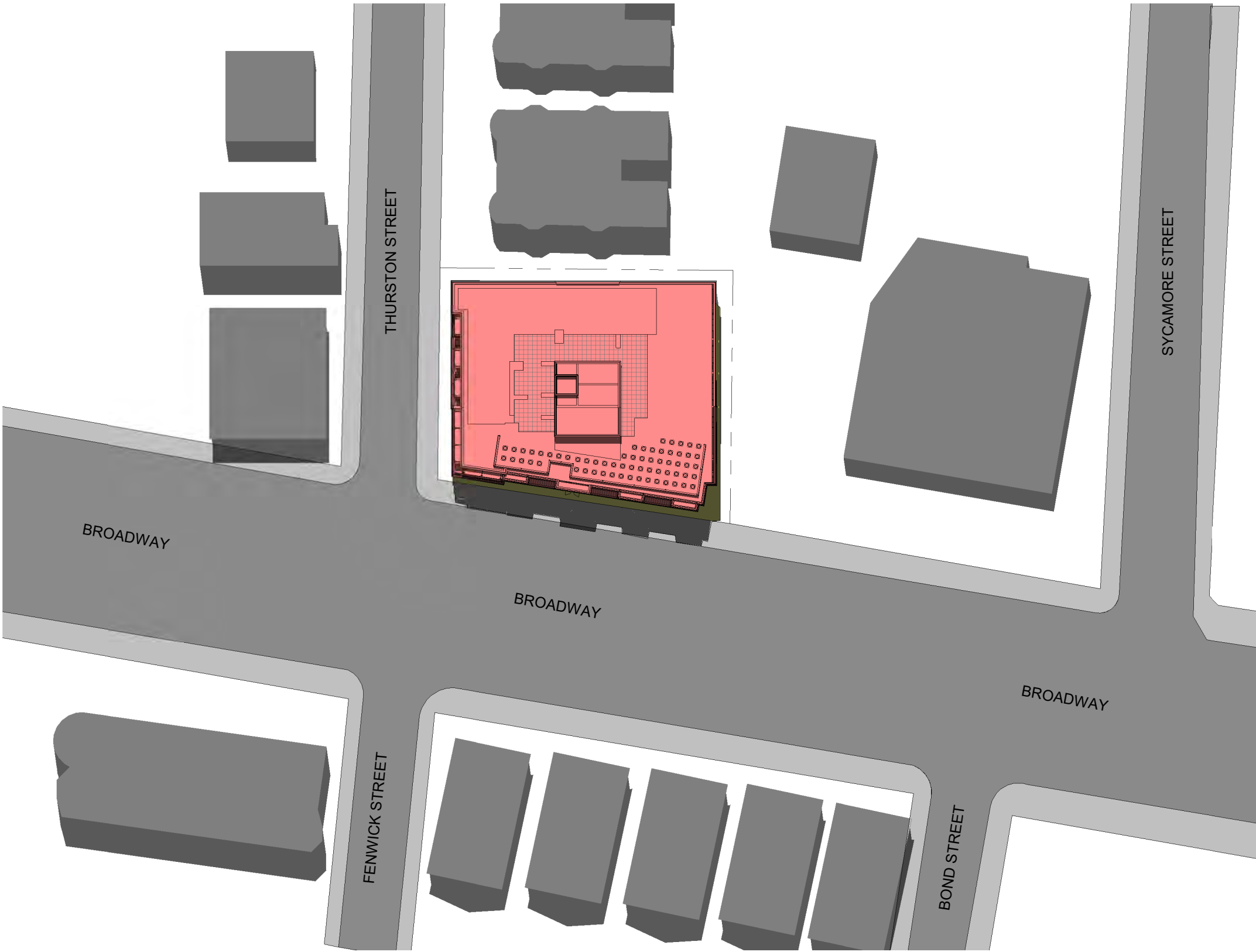


SUMMER SOLSTICE (JUNE 21)

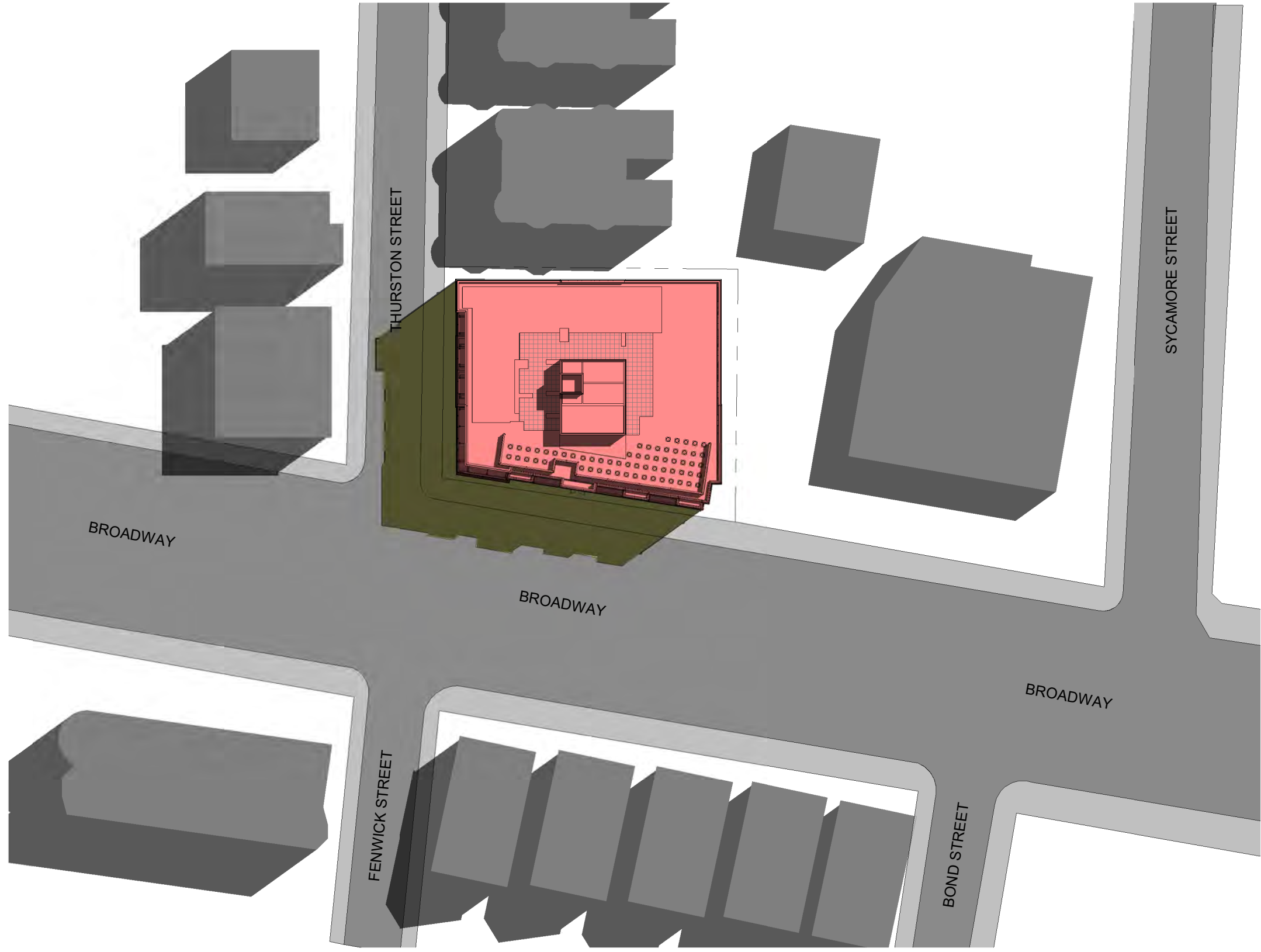
9 AM



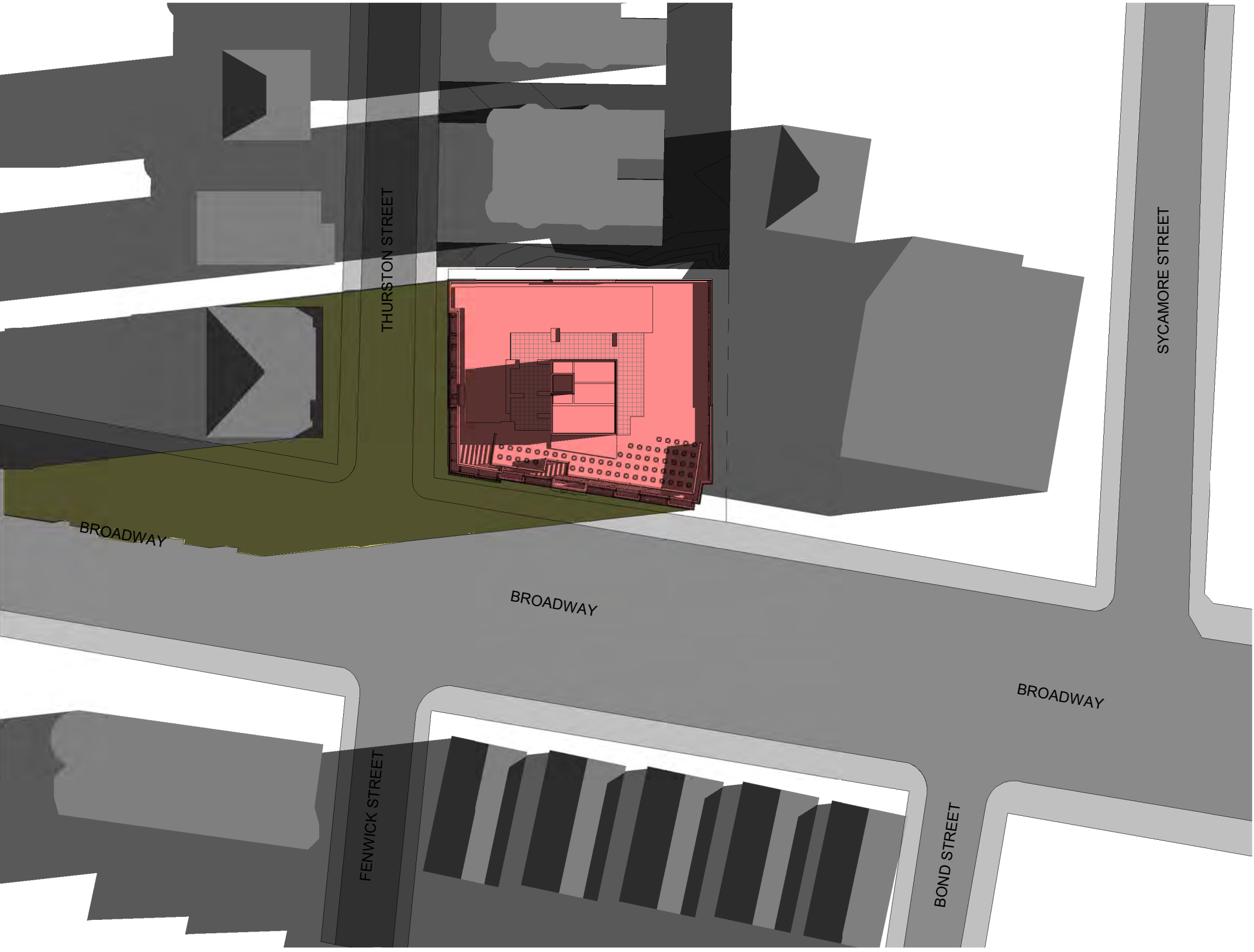
12 PM



3 PM



6 PM



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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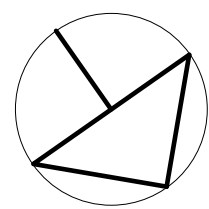
REVISIONS

No.	Description	Date

Shadow Study -
Summer Solstice

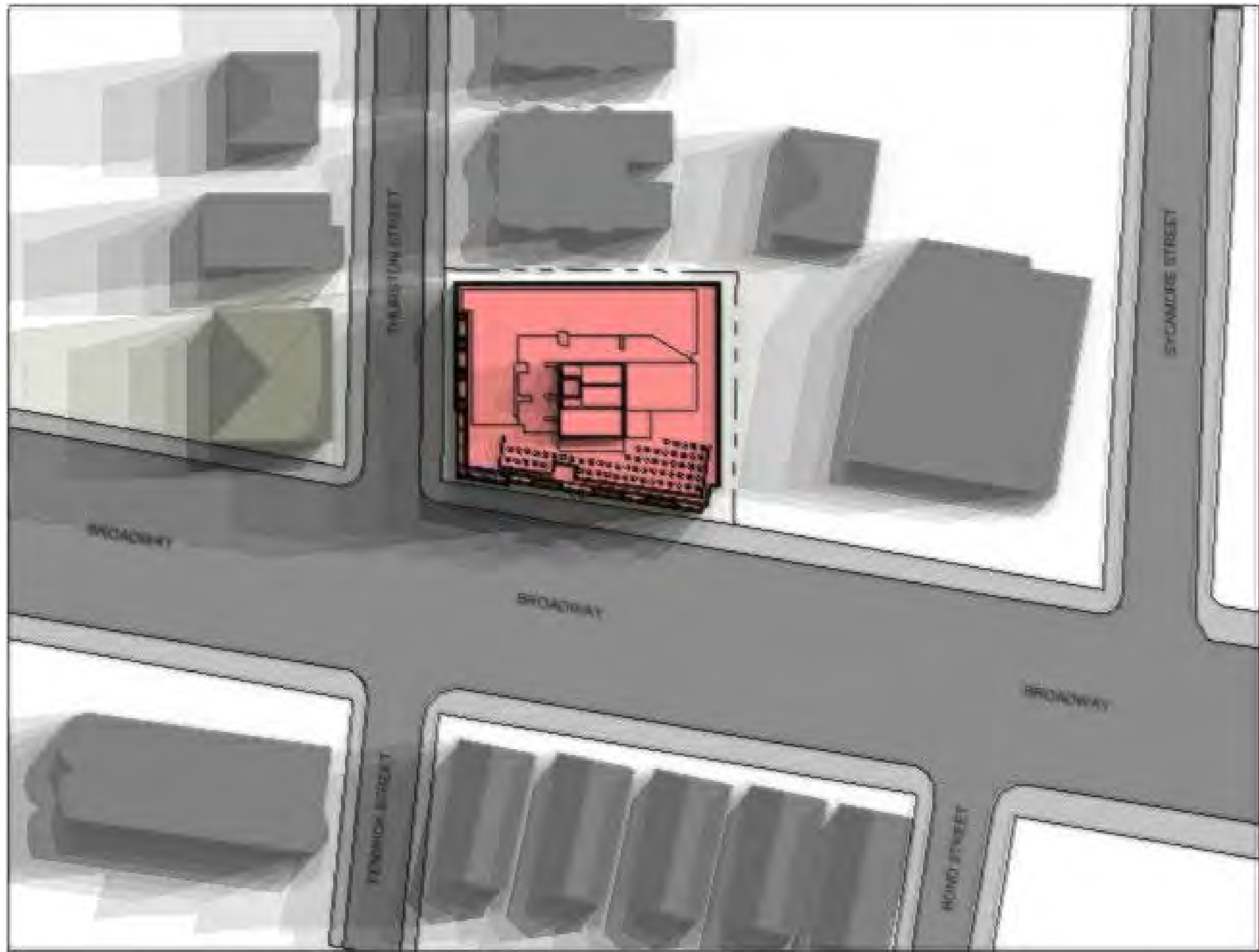
AV-9

366 Broadway Residences



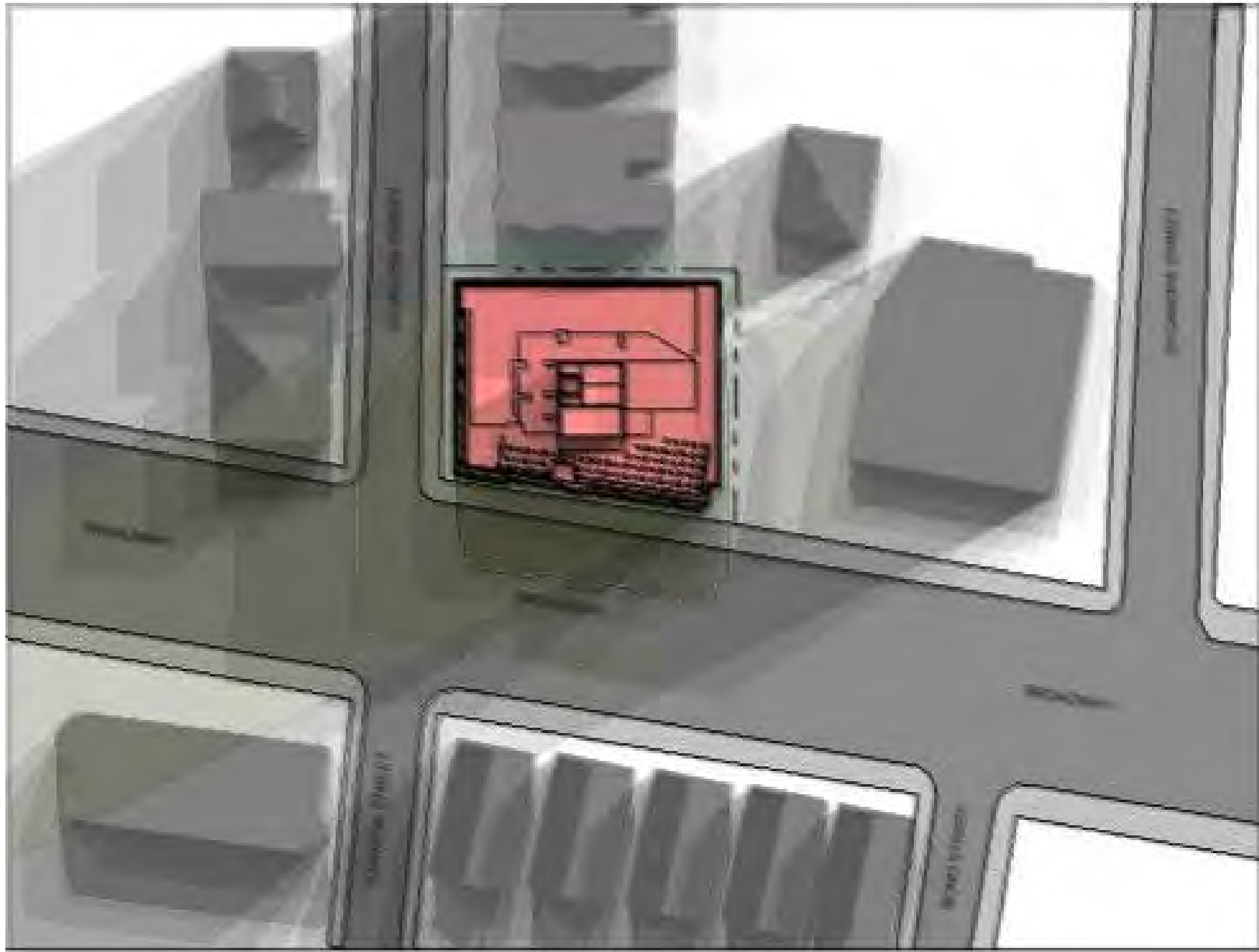
SUMMER SOLSTICE (JUNE 21)

CUMULATIVE (HOURLY 9 AM - 6PM)



AUTUMNAL EQUINOX (SEPTEMBER 21)

CUMULATIVE (HOURLY 9 AM - 6PM)



PROJECT NAME
366 Broadway
Residences

PROJECT ADDRESS
366 Broadway
Somerville, MA

CLIENT
366 Broadway
Somerville LLC

ARCHITECT



KHALSA

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SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682

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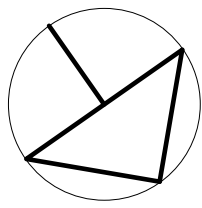
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Scale	12" = 1'-0"

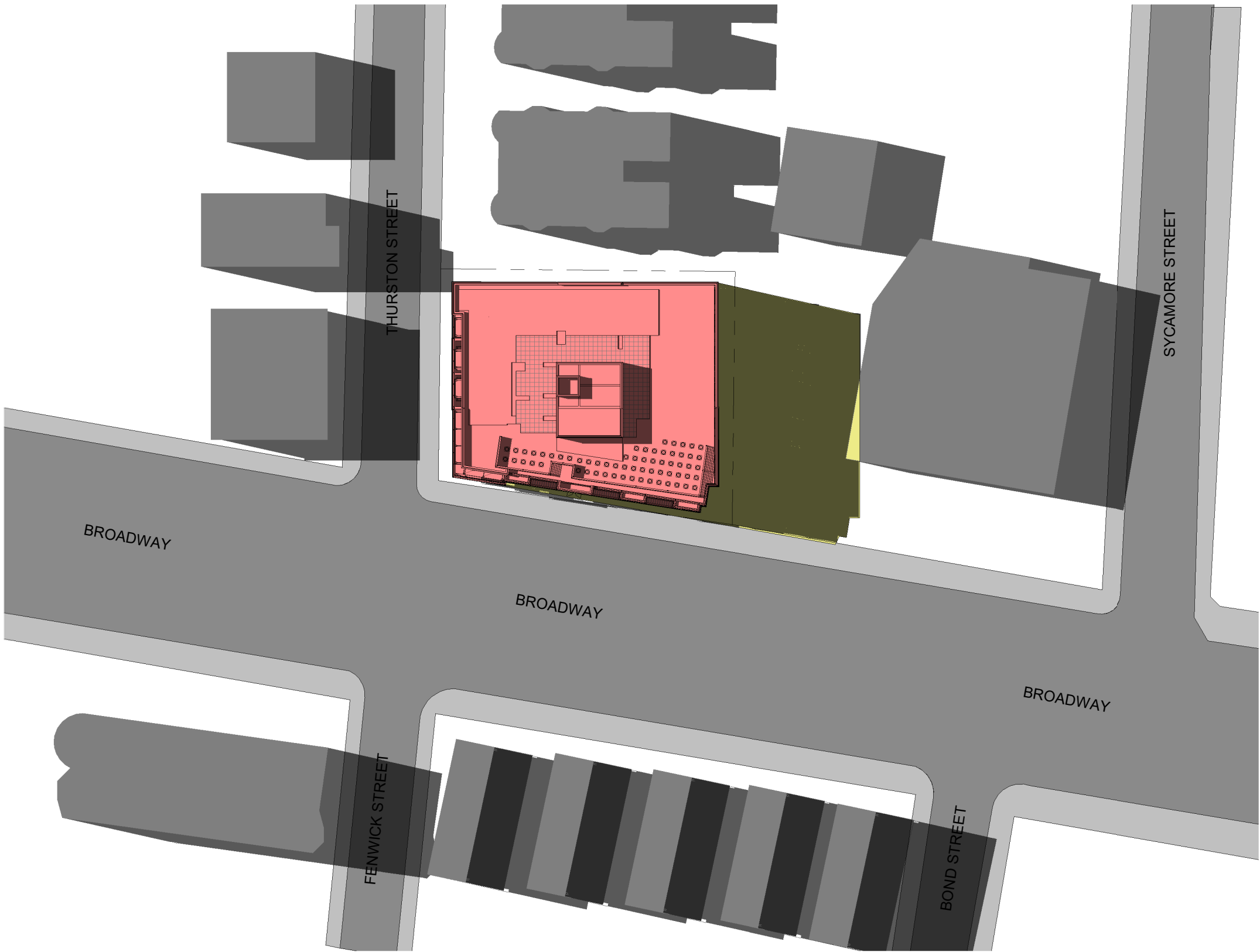
REVISIONS		
No.	Description	Date

Shadow Studies
-Summer Solstice
/Autumnal Equinox

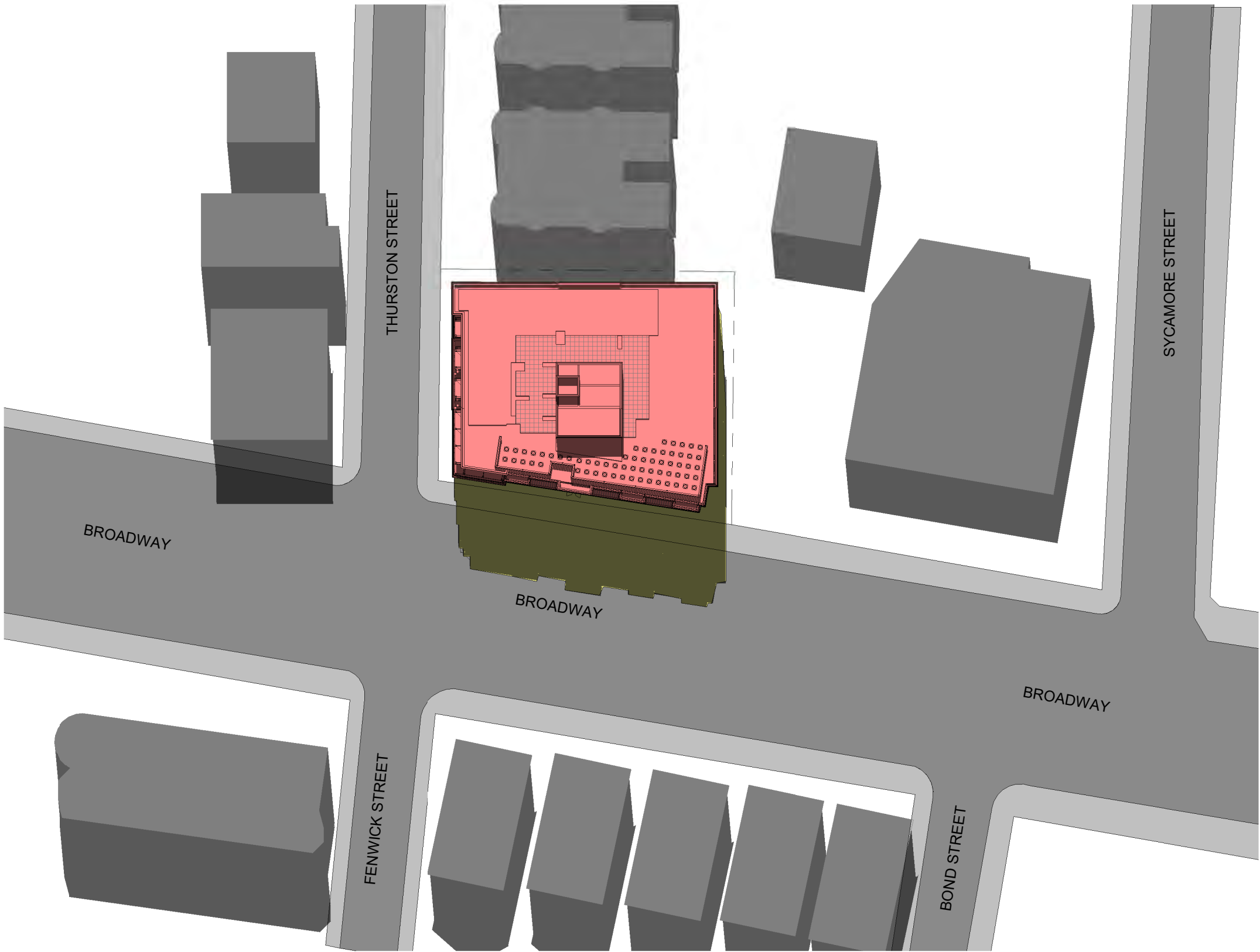


AUTUMNAL EQUINOX (SEPTEMBER 21)

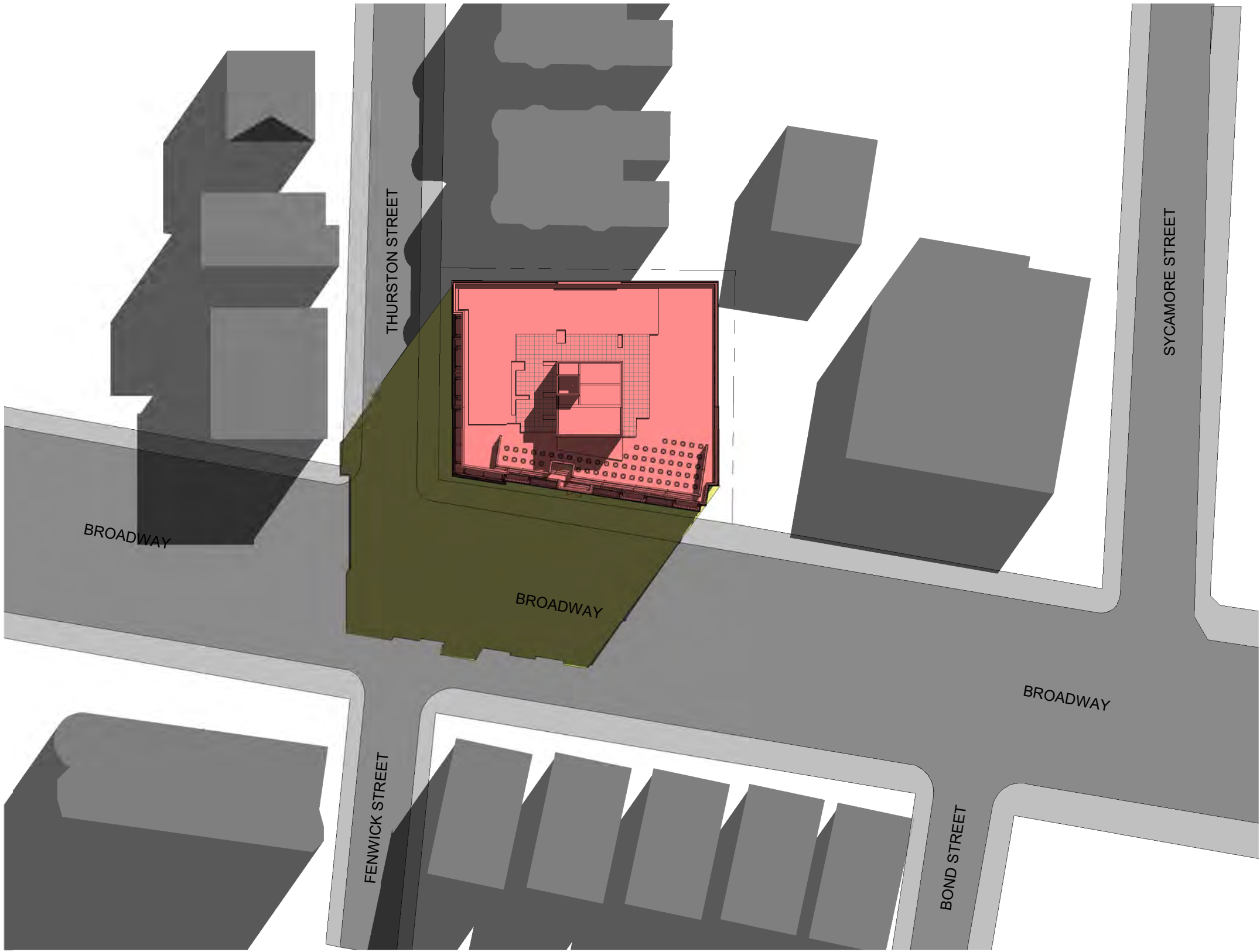
9 AM



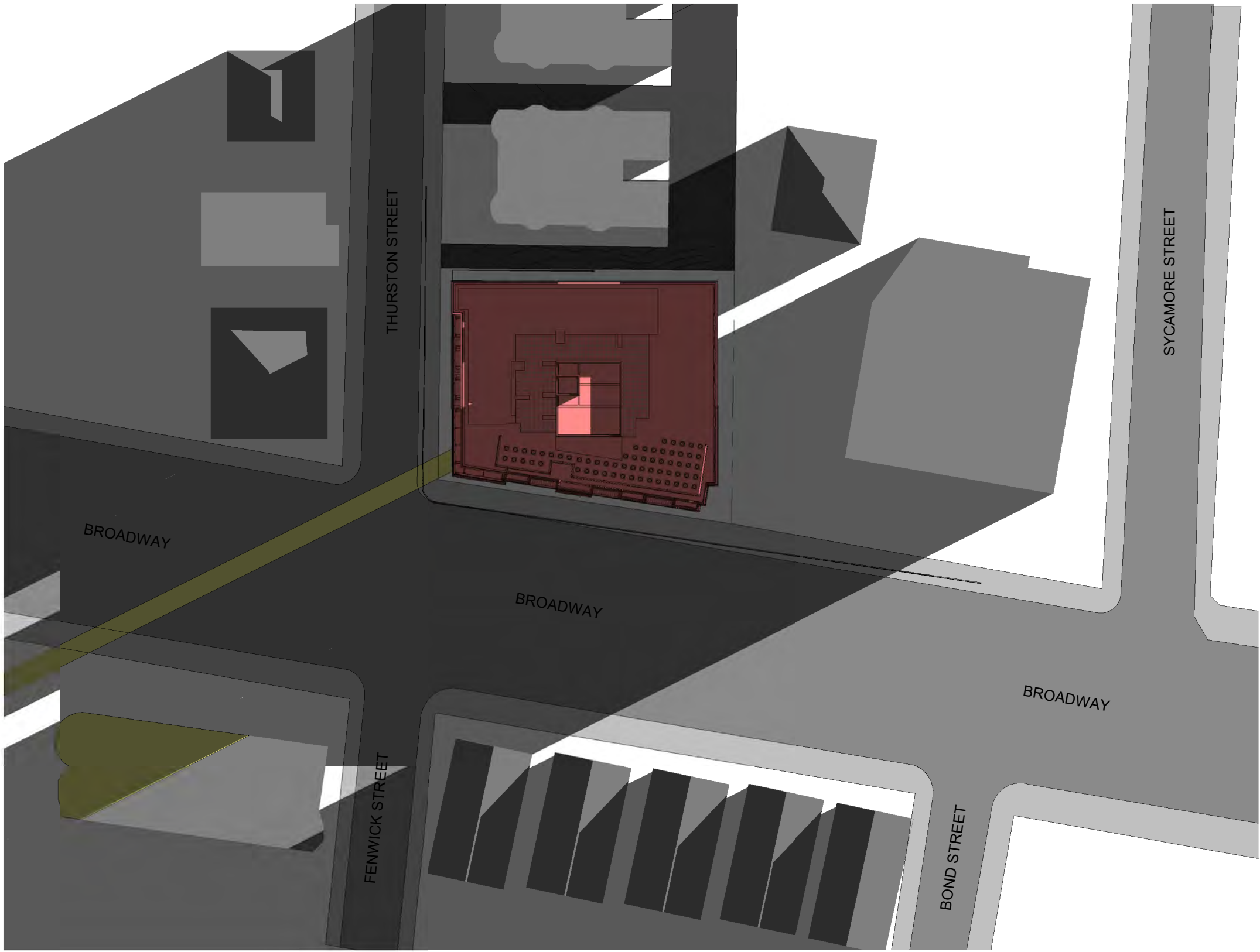
12 PM



3 PM



6 PM



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

366 Broadway
Somerville LLC

ARCHITECT



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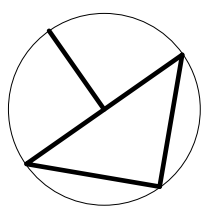
REVISIONS

No.	Description	Date

Shadow Studies
-Winter Solstice
/Autumnal Equinox

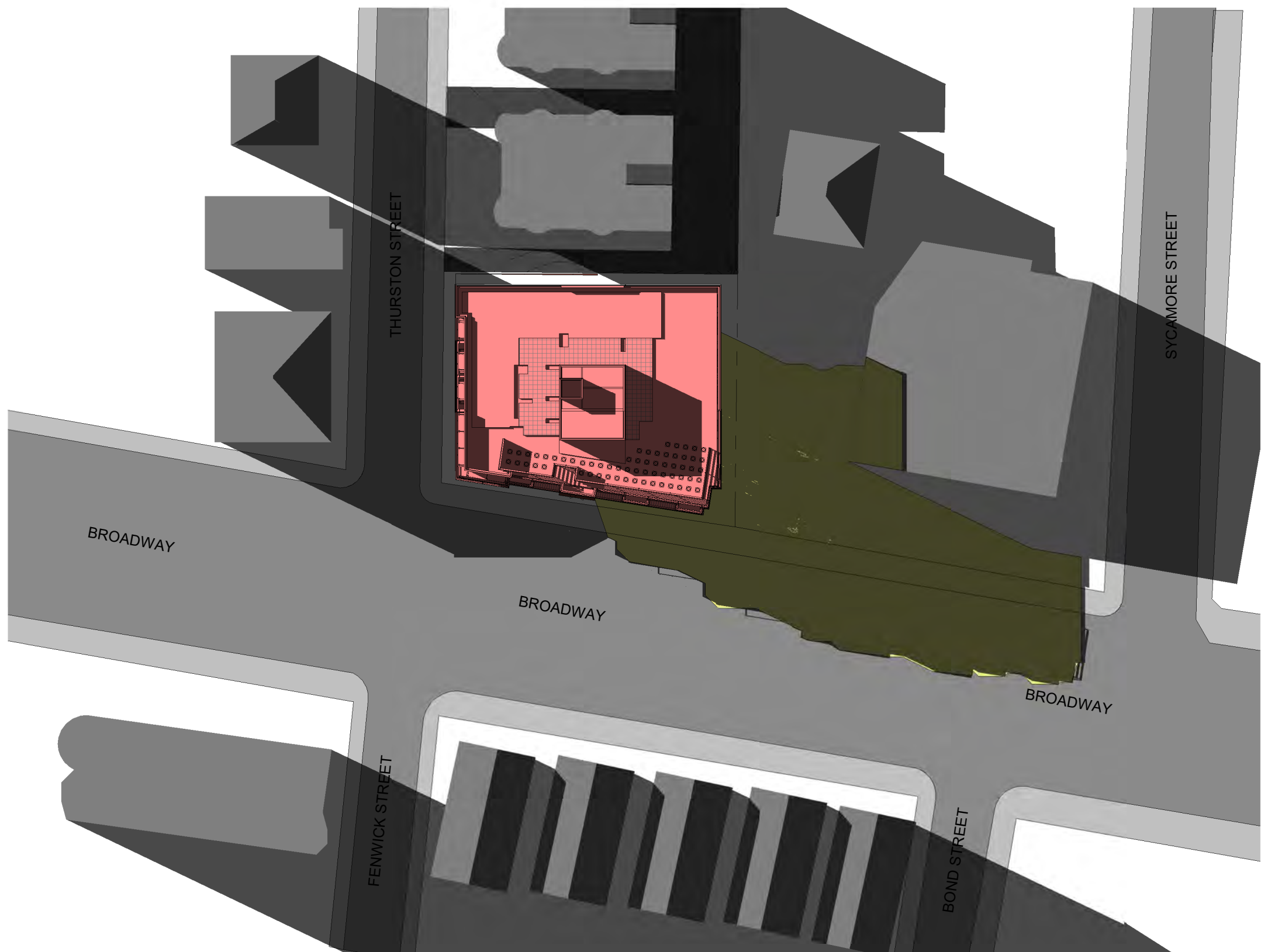
AV-11

366 Broadway Residences

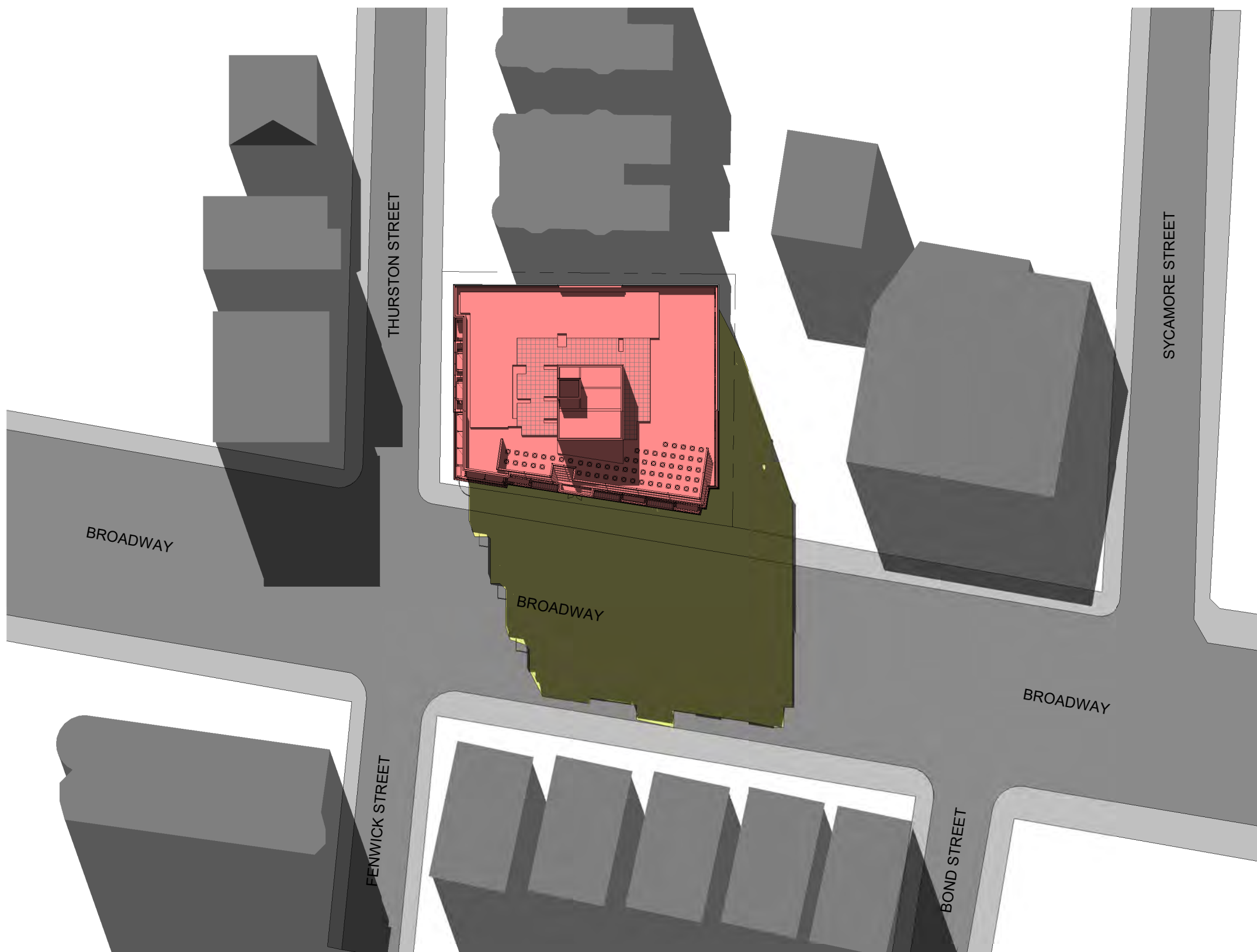


WINTER SOLSTICE (DECEMBER 21)

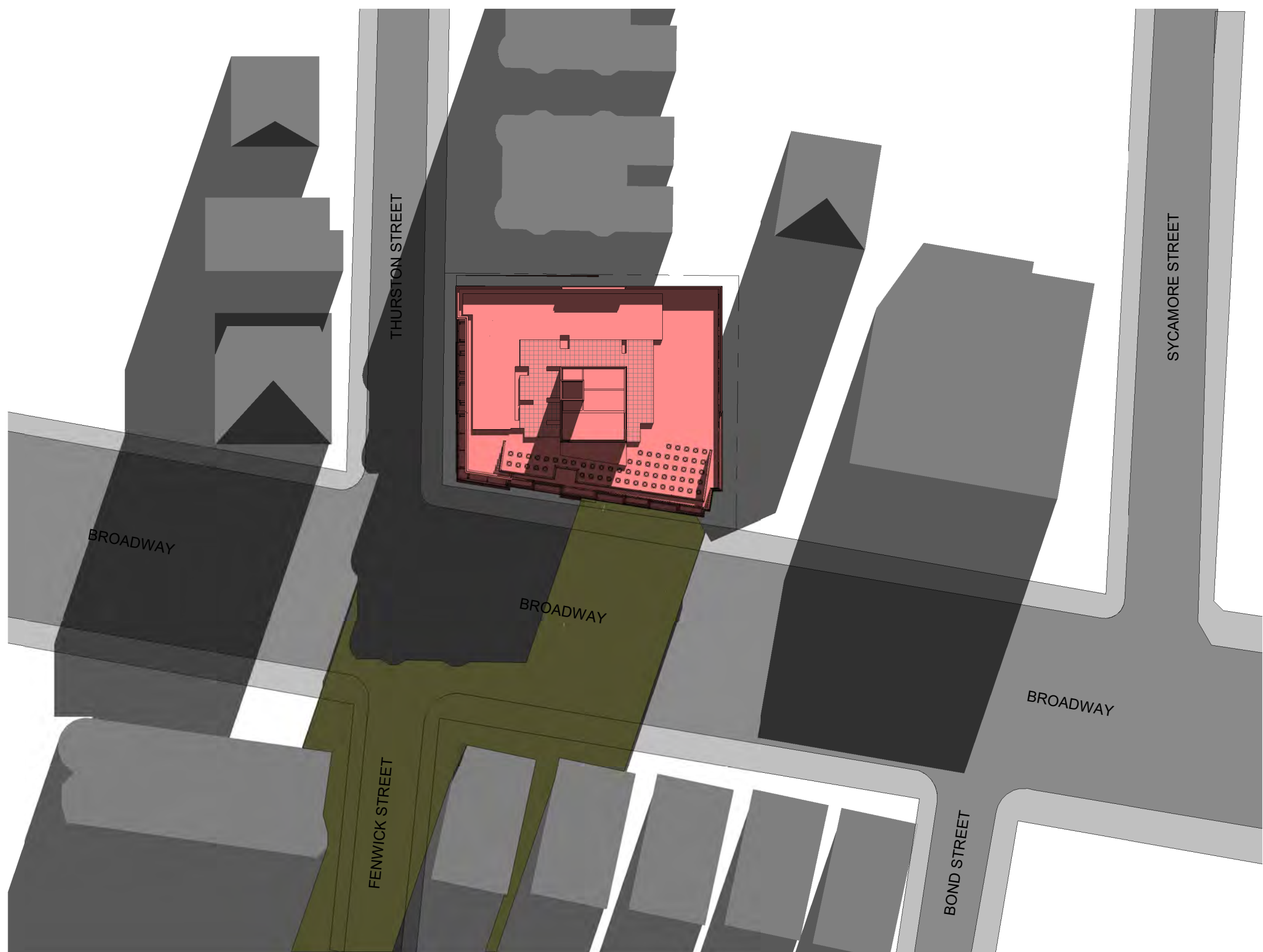
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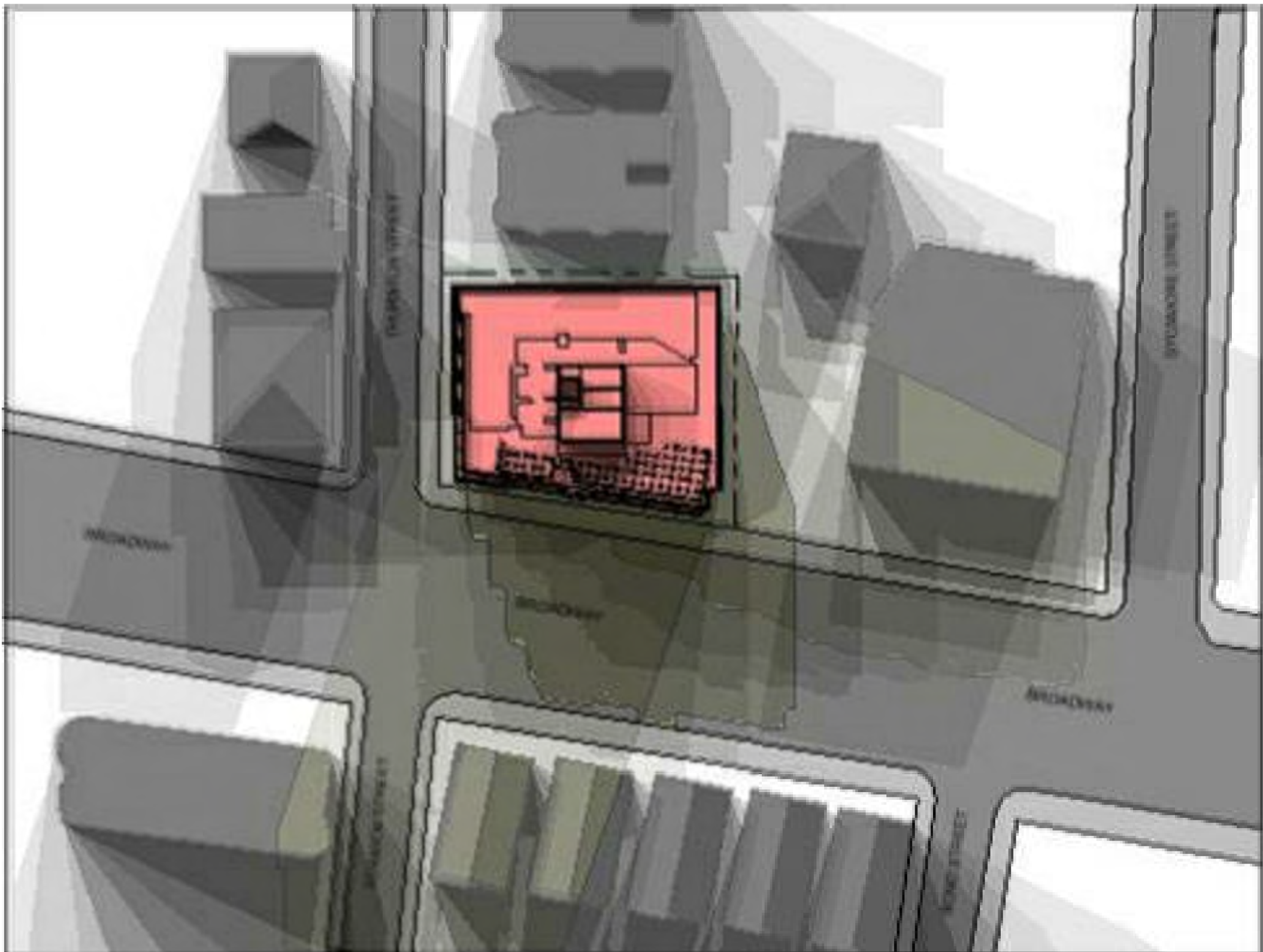
12 PM



3 PM



CUMULATIVE (HOURLY 9 AM - 3PM)



PROJECT NAME

366 Broadway
Residences

PROJECT ADDRESS

366 Broadway
Somerville, MA

CLIENT

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REVISIONS

No.	Description	Date

Winter Solstice
Shadow Study

AV-12

366 Broadway Residences